

## **ELIZABETH PLATT ESTATES SUBDIVISION**

Engineering Comments: It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: Shall comply with Section 508.5.1 of the 2003 IFC.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 1-lot, 0.5± acre subdivision which is located on the North side of Colonial Circle North, 400'± East of Colonial Oaks Drive East, in Council District 7. The subdivision is served by public water and sanitary services.

The purpose of this application is to create a legal lot of record from an existing metes-and-bounds parcel. The property was to have been Lot 17 of a proposed Resubdivision of a Portion of Lots 5 and 6 and all of Lot 4 of the W. P. Mayer Subdivision, which was erroneously platted, but was never recorded. Although the proposed subdivision plat is dated March 16, 1951, no Probate Court Records appear for the property's current legal description until 1969, hence this application.

The proposed lot has frontage on Colonial Circle North with a compliant 50' right-of-way, therefore, no dedication is required. As a means of access management, a note should be required on the final plat limiting the lot to one curb cut to Colonial Circle North, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. The plat illustrates a 25' minimum building setback line along Colonial Circle North and this should also be shown on the final plat.

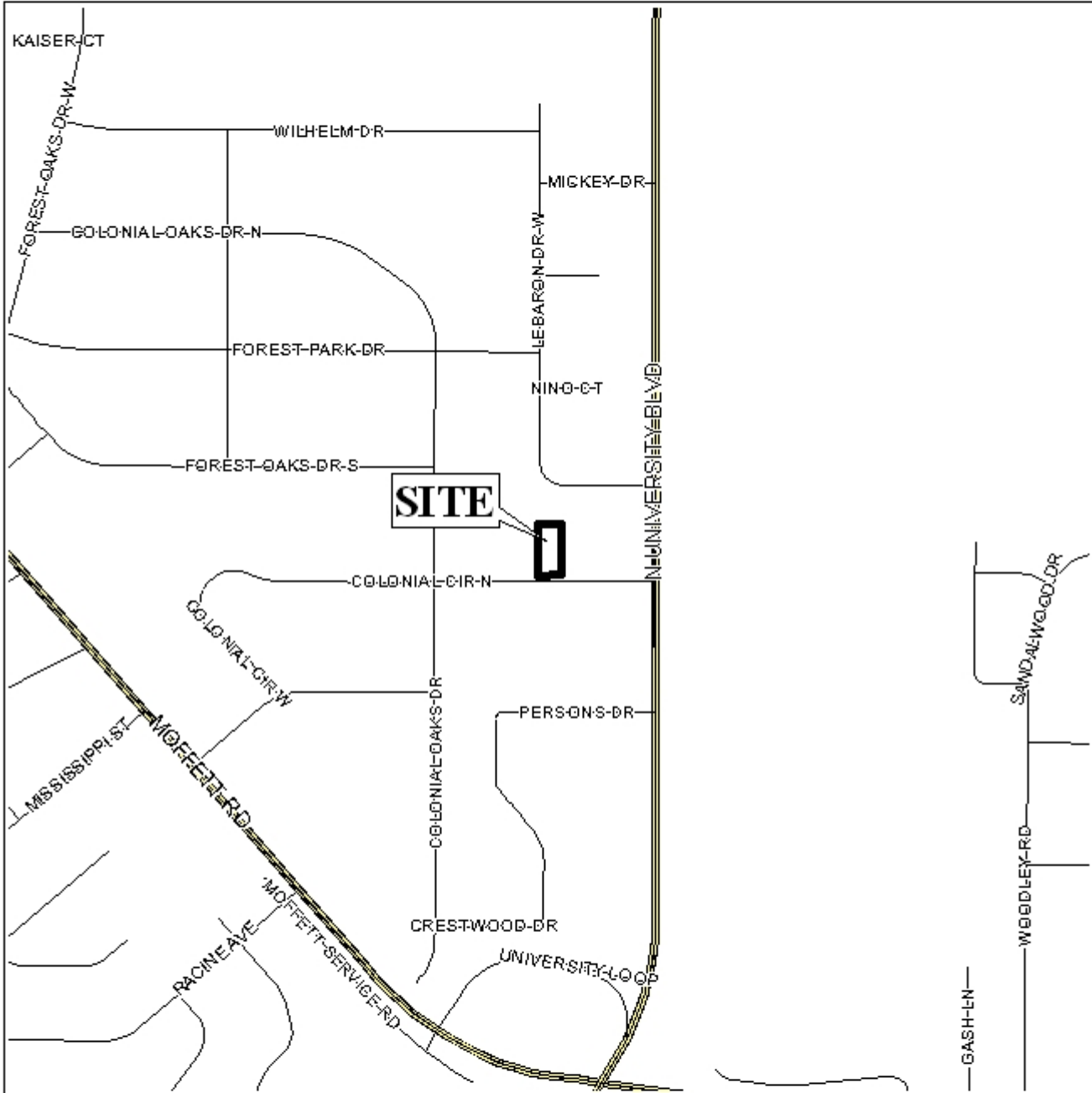
The lot is labeled on the plat with its size in acres and square feet, and should also be labeled with such on the final plat, or a table should be provided furnishing the same information.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, this application is recommended for Tentative Approval subject to the following conditions:

- 1) placement of a note on the Final Plat stating that Lot 1 is limited to one curb cut to Colonial Circle North, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) illustration of the 25' minimum building setback line along Colonial Circle North;
- 3) labeling of the lot with its size in acres and square feet, or the provision of a table on the plat furnishing the same information;
- 4) placement of a note on the Final Plat stating that development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 5) subject to the Engineering Comments: *(It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit).*

# LOCATOR MAP



APPLICATION NUMBER 16 DATE April 17, 2008

APPLICANT Elizabeth Platt Estates Subdivision

REQUEST Subdivision



NTS

# ELIZABETH PLATT ESTATES SUBDIVISION



APPLICATION NUMBER 16 DATE April 17, 2008

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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