

DUNCAN PLACE SUBDIVISION, **RESUBDIVISION OF LOTS 19-28**

Engineering Comments: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. Provide a signature block and signature from the Traffic Engineering Department. 3. Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

The plat illustrates the proposed 1.5 acre \pm , 10 lot subdivision which is located on the West side of Pinemont Drive, 150' \pm North of McMurray Street, and is in Council District. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to resubdivide 10 legal lots of record from 10 existing legal lots of record and a vacated 40' right-of-way. In essence, the resubdivision will simply shift interior lot lots, increasing the size of the lots from the additional 40' obtained from the vacation of East remainder of an unopened portion of Johnston Lane.

Nine of the Ten proposed lots do not meet the minimum area or width requirements of the Subdivision Regulations, however, they are typical of the Pinehurst neighborhood; and will be larger than the existing lots of record that were approved in 1994. Therefore, a waiver of Section V.D.2 may be considered appropriate. The lot sizes should be retained in square feet and acres on the Final Plat, if approved.

The application does not indicate that reduced side yard setbacks or increased site coverage are proposed; nor was a PUD application submitted to allow these modifications to Zoning Ordinance Requirements. Therefore, standard setbacks and site coverage allowances shall apply.

The site has frontage on Pinemont Drive, a minor street with an existing right-of-way width of 60 feet. According to the Subdivision Regulations minor streets without curb and gutter should have a right or way width of 60 feet. The 25 feet setback line is shown and should be maintained on the final plat, if approved.

As a means of access management each lot should be limited to one curb-cut, with the size design or location to be approved by Traffic Engineering and comply with AASHTO standards.

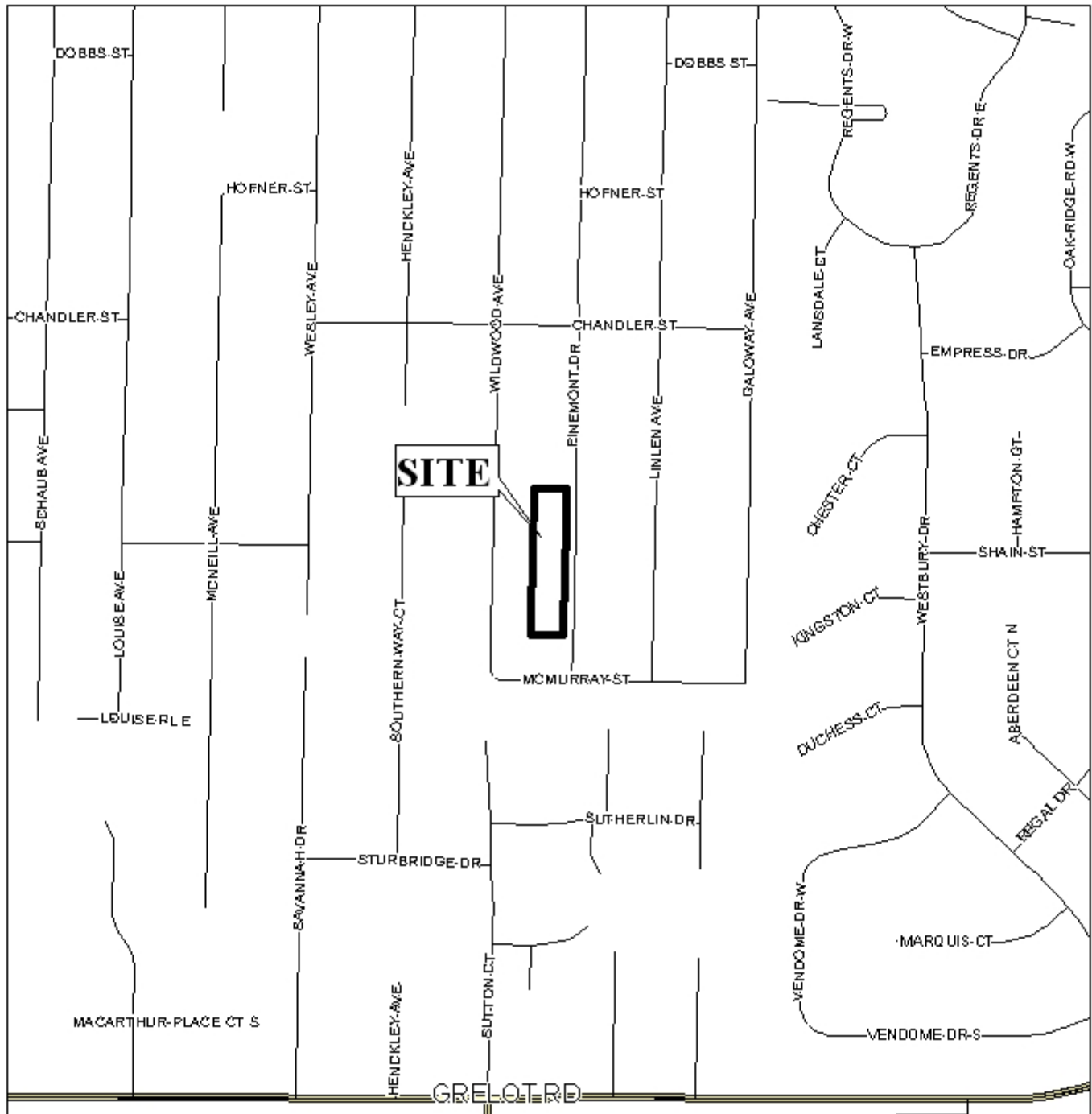
The proposed lots meet the standards for width-to-depth ratio.

Based upon the preceding, it is recommended that Section V.D.2 be waived, and the application be granted Tentative Approval, subject to the following conditions:

- 1) retention of the 25-foot minimum building setback line from Pinemont Drive on the Final Plat;
- 2) placement of a note on the final plat stating that each lot is limited to one (1) curb-cut, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) the lot sizes in acreage and square feet be retained on the Final Plat;
- 4) compliance with Engineers comments: 1. *Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes).* 2. *Provide a signature block and signature from the Traffic Engineering Department.* 3. *Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).*
- 5) compliance with Fire comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile; and
- 6) full compliance with all other municipal codes and ordinances.

It is also recommended that the applicant be advised that standard setbacks and site coverage allowances shall apply unless an appropriate PUD application is submitted and approved.

LOCATOR MAP



APPLICATION NUMBER 16 DATE April 4, 2013

APPLICANT Duncan Place Subdivision, Resubdivision of Lots 19 - 28

REQUEST Subdivision



DUNCAN PLACE SUBDIVISION, RESUBDIVISION OF LOTS 19 - 28



APPLICATION NUMBER 16 DATE April 4, 2013

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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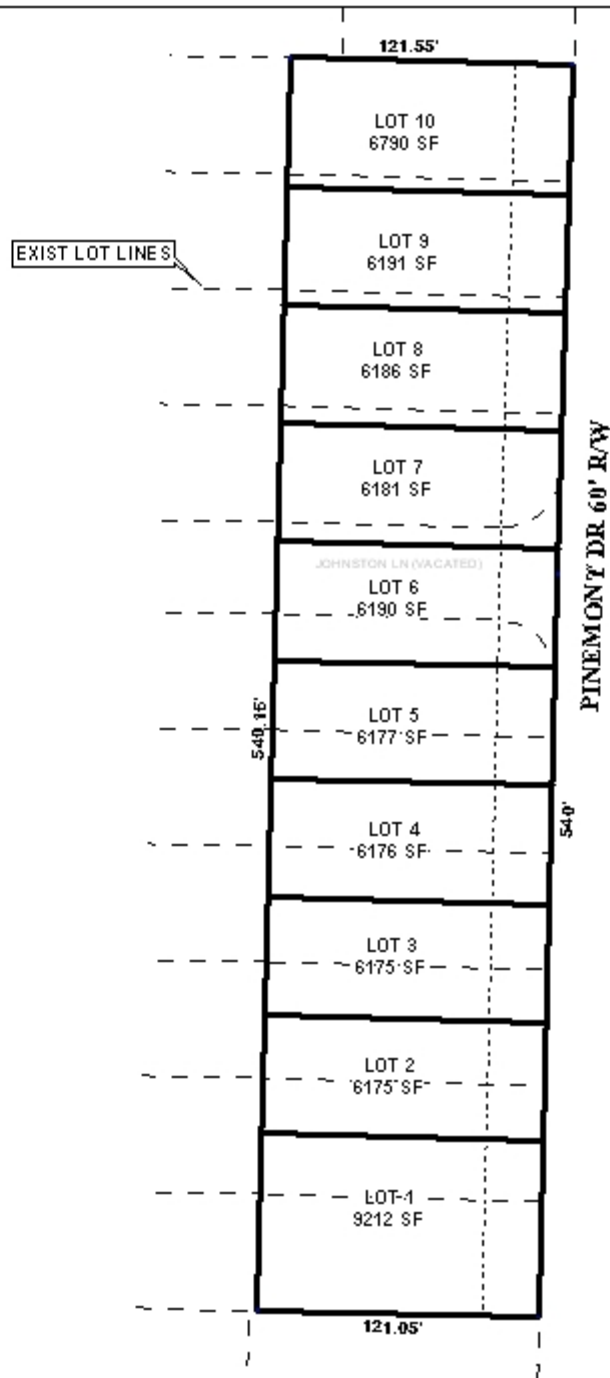
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APPLICATION NUMBER 16 DATE April 4, 2013



DETAIL SITE PLAN



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REQUEST Subdivision

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