

## **CRICHTON COMMERCE PLACE SUBDIVISION**

Engineering Comments: Show Minimum FFE on plans and plat for all lots located within the X-Shaded and AE Flood Zones. No fill allowed within a special flood hazard area without providing compensation or completing a flood study showing that there is no rise for the proposed fill within the special flood hazard area. Must comply with all storm water and flood control ordinances. Cannot concentrate storm water runoff to an adjacent property without a release agreement or a private drainage easement. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS show wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit. Need to verify that there is sufficient capacity for the receiving drainage system to accept drainage from this property.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Final approval for all driveways, proposed and existing will be given upon submittal of final plans.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate. Shall comply with Section 508.5.1 of the 2003 IFC.

The plat illustrates the proposed 15.7 acre  $\pm$ , 2 lot subdivision which is located on the North side of Moffett Road, 315'  $\pm$  West of Western Drive, and is in Council District 1. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to resubdivide three legal lots into two lots. Each lot will have frontage onto Moffett Road, a major street with adequate right-of-way, and Crichton Street, a minor street with a 50-foot wide right-of-way. Crichton Street is not open for a majority of where it is abutting the site, and the small portion that is improved only appears to have gravel surfacing. Access management is a concern due to Moffett Road's status as part of the US Highway 98 system, and the improvement status of Crichton Street. The existing development on proposed Lot 2 has one curb-cut onto Moffett Road, thus it should be limited to the existing curb-cut onto Moffett Road. Proposed Lot 1, even with approximately 250 feet of frontage onto Moffett Road, should be limited to one curb-cut due to the numerous curb-cuts that exist across the street (which create potential turning movement conflicts). Regarding Crichton Street, each lot should be denied access to Crichton Street until it is improved to city standards: the applicant

should consider dedicating sufficient right-of-way to allow for the construction of a cul-de-sac meeting International Fire Code standards, as adopted by the City of Mobile. Once Crichton Street is improved to city standards, each lot should be limited to one curb-cut each. The size, design and location of all curb-cuts are to be approved by Traffic Engineering (and ALDOT for those onto Moffett Road), and conform to AASHTO standards.

The 25-foot minimum building setback line, required in Section V.D.9., is not shown for the subdivision, but would be required on the final plat, if approved. The minimum building setback line should be depicted and labeled along Moffett Road and the entire length of Crichton Street.

It appears that a portion of the site may contain a segment of a branch of Three Mile Creek. The presence of a creek may indicate that the area is environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

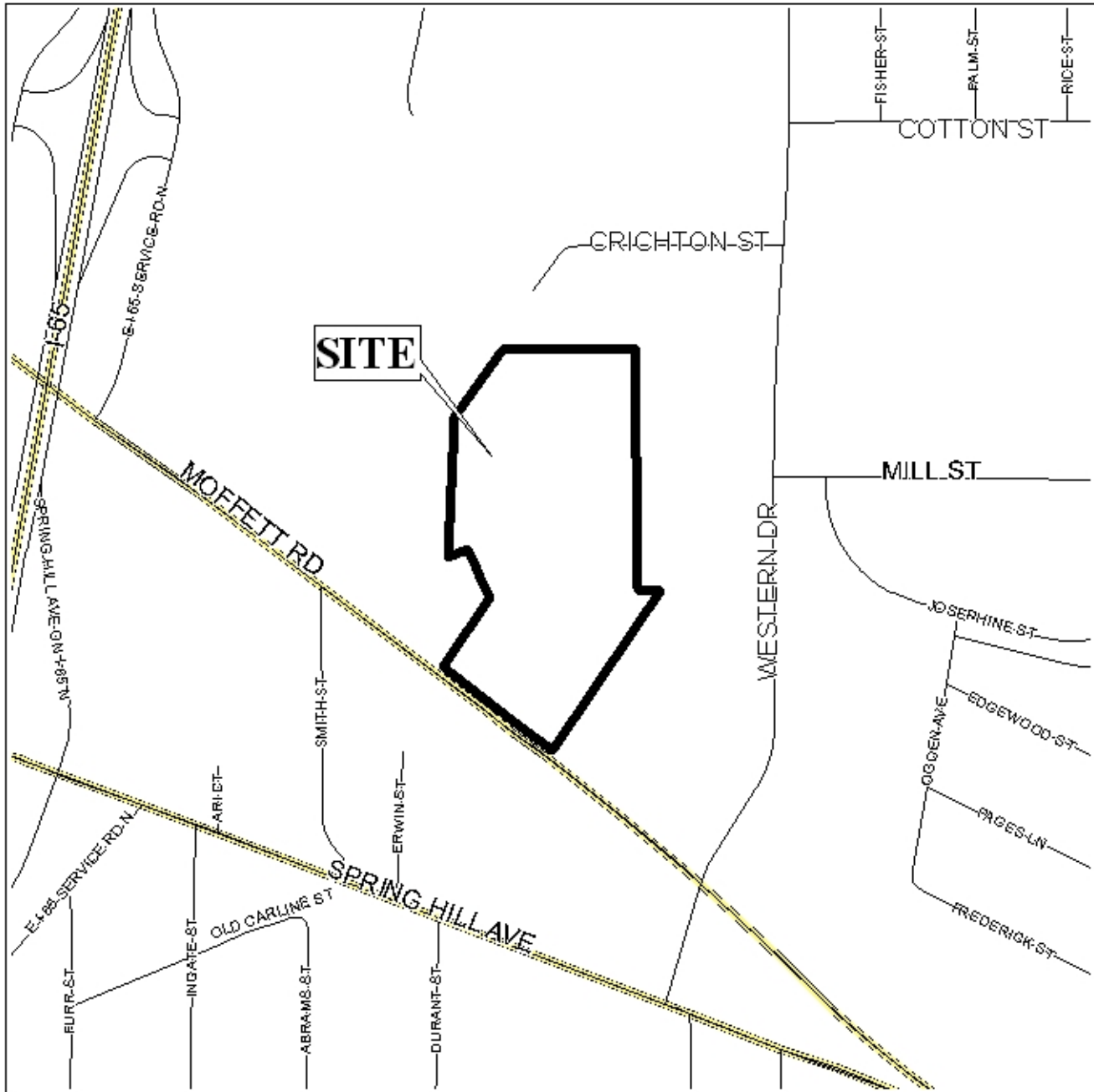
Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Placement of a note on the final plat stating that lots 1 and 2 are limited to one curb-cut each onto Moffett Road, with the size, design and location to be approved by Traffic Engineering and ALDOT, and to conform with AASHTO standards;
- 2) Placement of a note on the final plat stating that lots 1 and 2 are denied access to Crichton Street until it is improved to city standards, at which time each lot is limited to one curb-cut each, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards.
- 3) Depiction and labeling of the 25-foot minimum building setback line from all street frontages, as required by Section V.D.9. of the Subdivision Regulations;
- 4) The labeling of each lot with its size in square feet, or placement of a table on the plat with the same information;
- 5) Use of "best management practices" during site development, in compliance with Section V.A.5. of the Subdivision Regulations, to minimize erosion and sedimentation during site development;
- 6) Compliance with Engineering comments (*Show Minimum FFE on plans and plat for all lots located within the X-Shaded and AE Flood Zones. No fill allowed within a special flood hazard area without providing compensation or completing a flood study showing that there is no rise for the proposed fill within the special flood hazard area. Must comply with all storm water and flood control ordinances. Cannot concentrate storm water runoff to an adjacent property without a release agreement or a private drainage easement. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS show wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans*

*and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit. Need to verify that there is sufficient capacity for the receiving drainage system to accept drainage from this property.)*

- 7) Approval of all applicable federal, state and local agencies for wetlands or floodplain issues prior to the issuance of any permits or land disturbance activities;
- 8) Placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities; and
- 9) Completion of the subdivision process prior to the application for land disturbance or building permits.

# LOCATOR MAP



APPLICATION NUMBER 16 DATE June 5, 2008

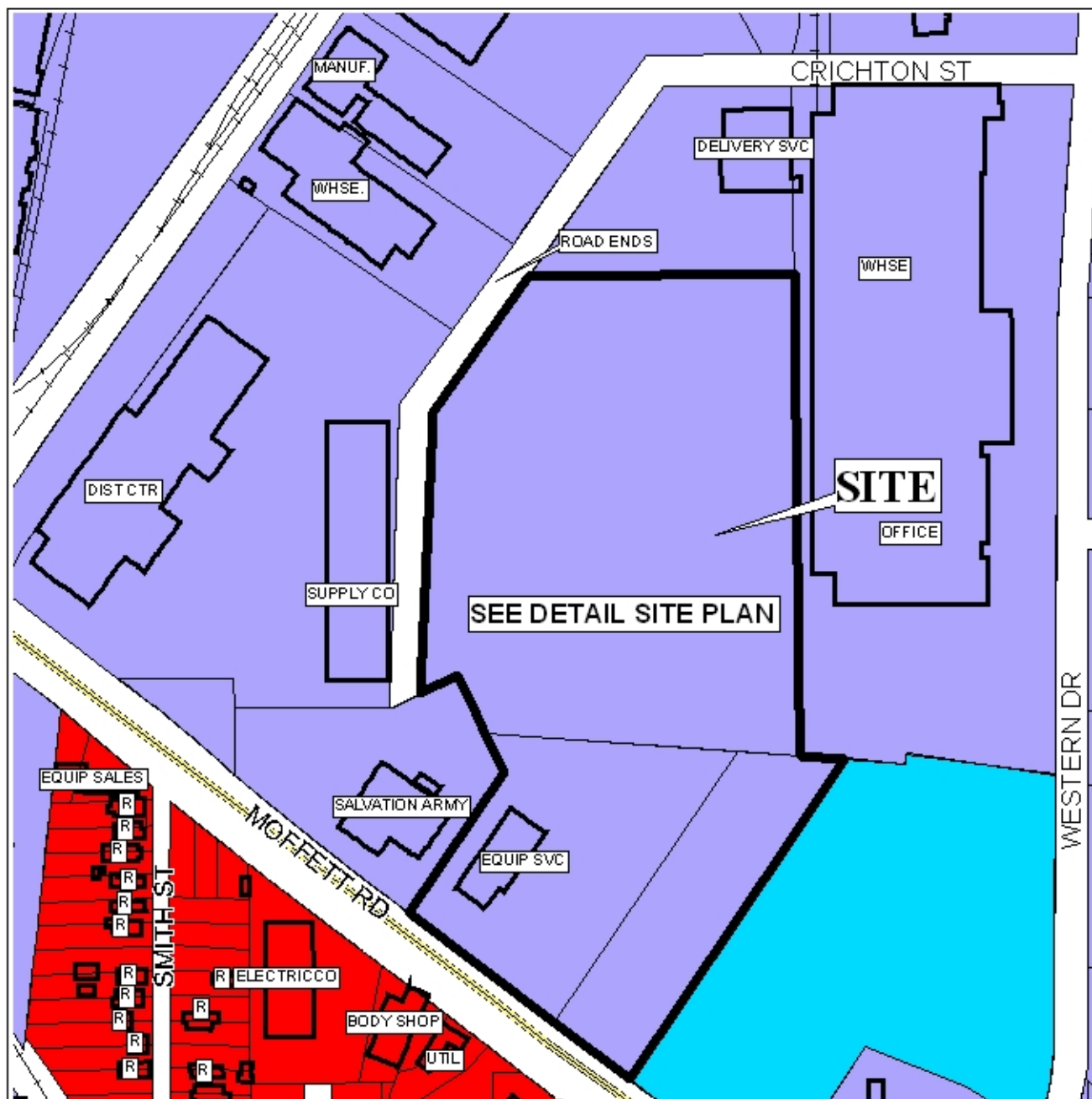
APPLICANT Crichton Commerce Place Subdivision

REQUEST Subdivision



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APPLICATION NUMBER 16 DATE June 5, 2008

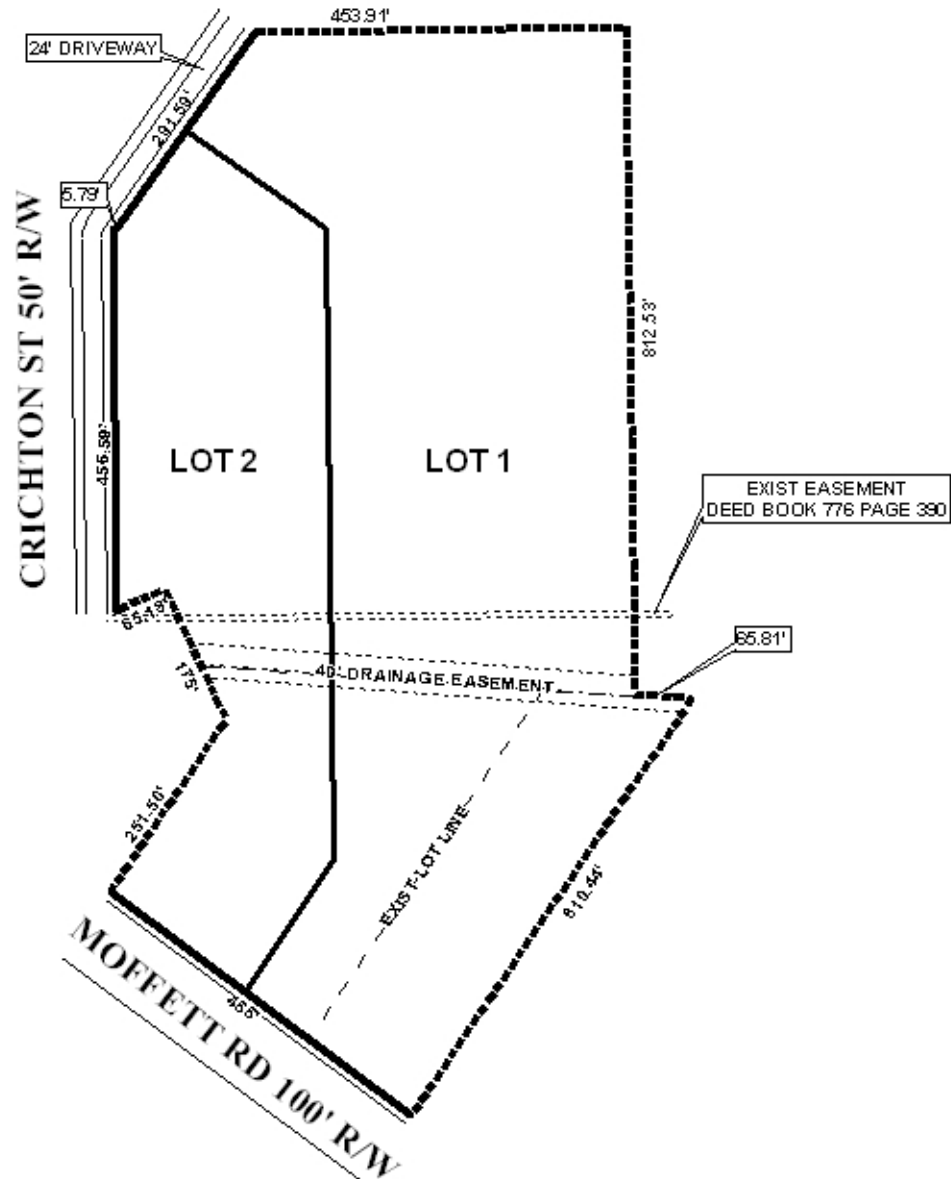
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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## DETAIL SITE PLAN



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APPLICANT Crichton Commerce Place Subdivision  
REQUEST Subdivision



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