

**PLANNED UNIT DEVELOPMENT &  
PLANNING APPROVAL****Date: September 5, 2019****NAME**

UMS-Wright Corporation

**SUBDIVISION NAME**

UMS-Wright Subdivision, Resubdivision of and Addition to Lot 1

**LOCATION**65 North Mobile Street  
(Southwest corner of Mobile Street and Old Shell Road, extending South and West to the CN Railroad right-of-way and the South terminus of Martin Street).**CITY COUNCIL  
DISTRICT**

District 1

**PRESENT ZONING**

R-1, Single-Family Residential

**AREA OF PROPERTY**

52.19± acres

**CONTEMPLATED USE**

Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site to include a new concession stand; and Planning Approval to allow the expansion of an existing private school in an R-1, Single Family Residential District.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediate

**ENGINEERING  
COMMENTS****Planned Unit Development:**

Retain Notes 1-4, 7, &amp; 8 shown on the submitted PUD site plan.

**Planning Approval:**

No comments.

**TRAFFIC ENGINEERING  
COMMENTS**

Access to the site is limited to the existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. If in the future, enrollment capacity is increased, or if any access changes are proposed, a traffic impact study will be required for this site. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.

**FIRE DEPARTMENT****COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

**REMARKS**

The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site to include a new concession stand; and Planning Approval to allow the expansion of an existing private school in an R-1, Single Family Residential District.

The site has been given Institutional (INS) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation includes land and buildings occupied by municipal and other governmental agencies for the exercise of their functions, to serve the public or provide a civic use or amenity. These include major libraries, airports, public schools and public safety facilities, but exclude parks and public open space which are identified under a separate land use classification (see below). Semi-public uses such as grammar and high schools, colleges and universities, hospitals, and other major institutions that serve the public and/or operate in a public function are included. Parks and public open space are not included but have their own land use classification.

Note: Small-scale properties (less than 2 acres) accommodating subsidiary public and semi-public facilities, such as branch libraries, substations, satellite clinics, etc., may not be specifically called out in the FLUM under this land use designation, but may instead be considered part of the array of integrated complementary uses typically found in a residential neighborhood or a mixed-use center or corridor. The specific location and design of these complementary uses is subject to zoning.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

PUD approval is site-plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission. Also, PUD approvals expire within one (1) year if no permits for the development are obtained.

The site last received Planning Approval and Planned Unit Development approval from the Planning Commission at its April 5, 2018 meeting, to allow two temporary modular classroom buildings. Since an expansion of the campus facilities is again proposed, those previously approved applications must be amended, hence these applications.

The applicant states:

- 1) *Transportation and access, water supply, waste disposal, fire, police protection and public facilities.*
  - a. *Persons utilizing the Coffee Box (concession stand) will primarily be enrolled UMS-Wright students that have their own means of transportation. The main access to the school and proposed facilities is located on Old Shell Road where parking is available for daytime operations and after hour sporting events.*
  - b. *Water and sewer for the proposed Coffee Box is available nearby via existing lines connected to the MAWSS utility service lines located along Mobile Street.*

- c. UMS-Wright is a private school with guests being sporting event opponents and their supporters. Facilities are not for use by the public unless invited. Guests will have full access to parking and restroom facilities.*
- 2) Traffic congestion or hazard.*
  - a. Traffic ingress and egress to the site is controlled by means of the traffic signal located at the main entrance located on Old Shell Road. This will be the access point for persons utilizing the proposed facilities.*
  - b. Any site lighting installed shall be designed by a professional engineer to ensure that no light will project off site and create a driving hazard for traffic along Mobile Street or Dauphin Street.*
- 3) This proposal will be in harmony with the orderly and appropriate developments.*
  - a. The proposed Coffee Box will be centrally located to provide students, parents and guests with a convenient way to purchase snacks and drinks without having to leave campus.*
  - b. Although UMS-Wright property is zoned R-1 and operating as business, all surrounding adjacent properties are zoned B-3 community Business with daytime/weekday operating hours. Any after hour or weekend use should have no effect on their normal business operations.*

The site plans indicate the proposed 25'± x 35'± portable building to be used as the Coffee Box (a concession stand) within a small parking area on the West side of the open-air seating court on the South side of the existing cafeteria. The parking area currently contains 14 parking spaces, and it appears that the proposed structure may require the elimination of one parking space, which would be insignificant due to the fact that sufficient available parking would remain on site. No required drive aisles or access/maneuvering areas would be impacted. No trees would be impacted by the proposed structure and no new tree plantings would be required.

As the proposed project is minimal in scope, it should have no negative impact on the site or surrounding neighborhood.

### **RECOMMENDATION:**

**Planned Unit Development:** Based upon the preceding, staff recommends to the Planning Commission the following findings of facts for Approval of the Planned Unit Development:

- a) the proposal promotes the objective of Creative design (to encourage innovative and diversified design in site development), because it will allow an additional support facility in an undeveloped portion of the site;
- b) the proposal promotes the objective of Flexibility (to permit greater flexibility in the location and arrangement of facilities than is generally possible under district regulations), because it will allow readily-accessible concessions services not currently available to the school;

- c) the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment), because a relatively small amount of space will actually be required for the proposed use;
- d) the proposal promotes the objective of Environment (to preserve and protect as urban amenities the natural features and characteristics of the land), because there will be no loss of trees on the site;
- e) the proposal promotes the objective of Open space (to encourage the provision of common open space through efficient site design), because there should be no disruption to internal site pedestrian and traffic flow;
- f) the proposal promotes the objective of Public services (to encourage optimum use of available public utilities, streets and community facilities), because existing utilities, streets and public utilities will be utilized.

The approval is subject to the following conditions:

- 1) placement of a note on the site plan stating that any future development will require Planning Approval and Planned Unit Development approval prior to the issuance of any permits;
- 2) compliance with the Engineering comments: *(Retain Notes 1-4, 7, & 8 shown on the submitted PUD site plan.);*
- 3) placement of a note on the site plan stating the Traffic Engineering comments: *( Access to the site is limited to the existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. If in the future, enrollment capacity is increased, or if any access changes are proposed, a traffic impact study will be required for this site. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 4) compliance with the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.];*
- 5) compliance with the Fire Department comments: *[All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).];*
- 6) full compliance with all municipal codes and ordinances; and
- 7) submission to and approval by Planning and Zoning of two revised PUD site plans prior to any request for permits.

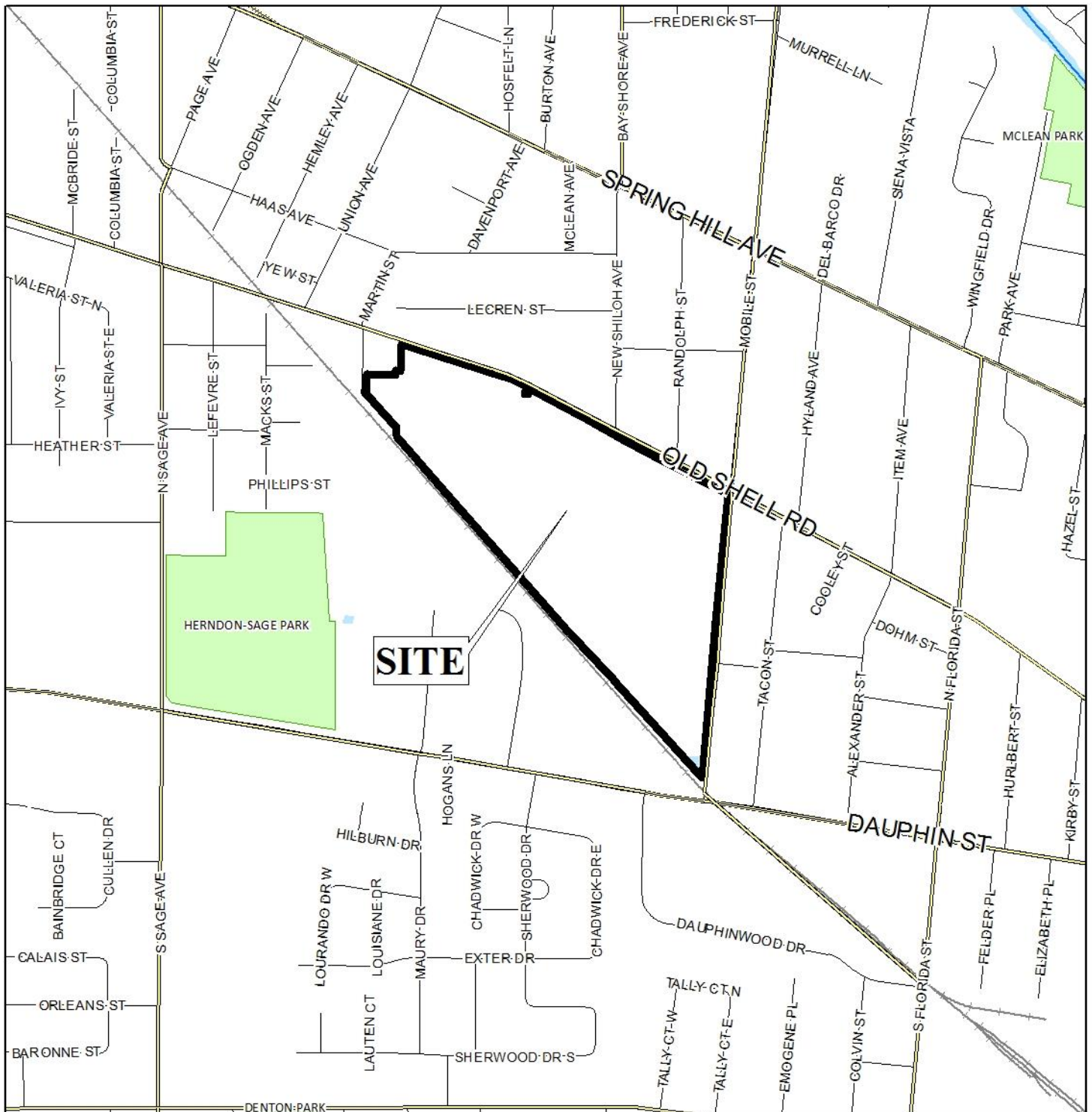
**Planning Approval:** Based upon the preceding, staff recommends to the Planning Commission the following findings of facts for Approval of the Planning Approval:

- a) the proposal will be appropriate with regard to transportation and access, water supply, waste disposal, fire and police protection, and other public facilities, because it should have no impact on any of those items due to the limited scope of the project;
- b) the proposal will not cause undue traffic congestion or create a traffic hazard, because the proposed structure is located out of any traffic lanes and no increased traffic is anticipated; and
- c) the proposal will be in harmony with the orderly and appropriate development of the district in which the use is located, because it will be of minimal size in relation to the over-all site, and will be associated with the functioning of the site as a school.

The approval is subject to the following conditions:

- 1) placement of a note on the site plan stating that any future development will require Planning Approval and Planned Unit Development approval prior to the issuance of any permits;
- 2) placement of a note on the site plan stating the Traffic Engineering comments: *( Access to the site is limited to the existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. If in the future, enrollment capacity is increased, or if any access changes are proposed, a traffic impact study will be required for this site. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 3) compliance with the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.];*
- 4) compliance with the Fire Department comments: *[All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).];*
- 5) full compliance with all municipal codes and ordinance; and
- 6) submission to and approval by Planning and Zoning of two revised Planning Approval site plans prior to any request for permits.

# LOCATOR MAP



APPLICATION NUMBER 16 DATE September 5, 2019

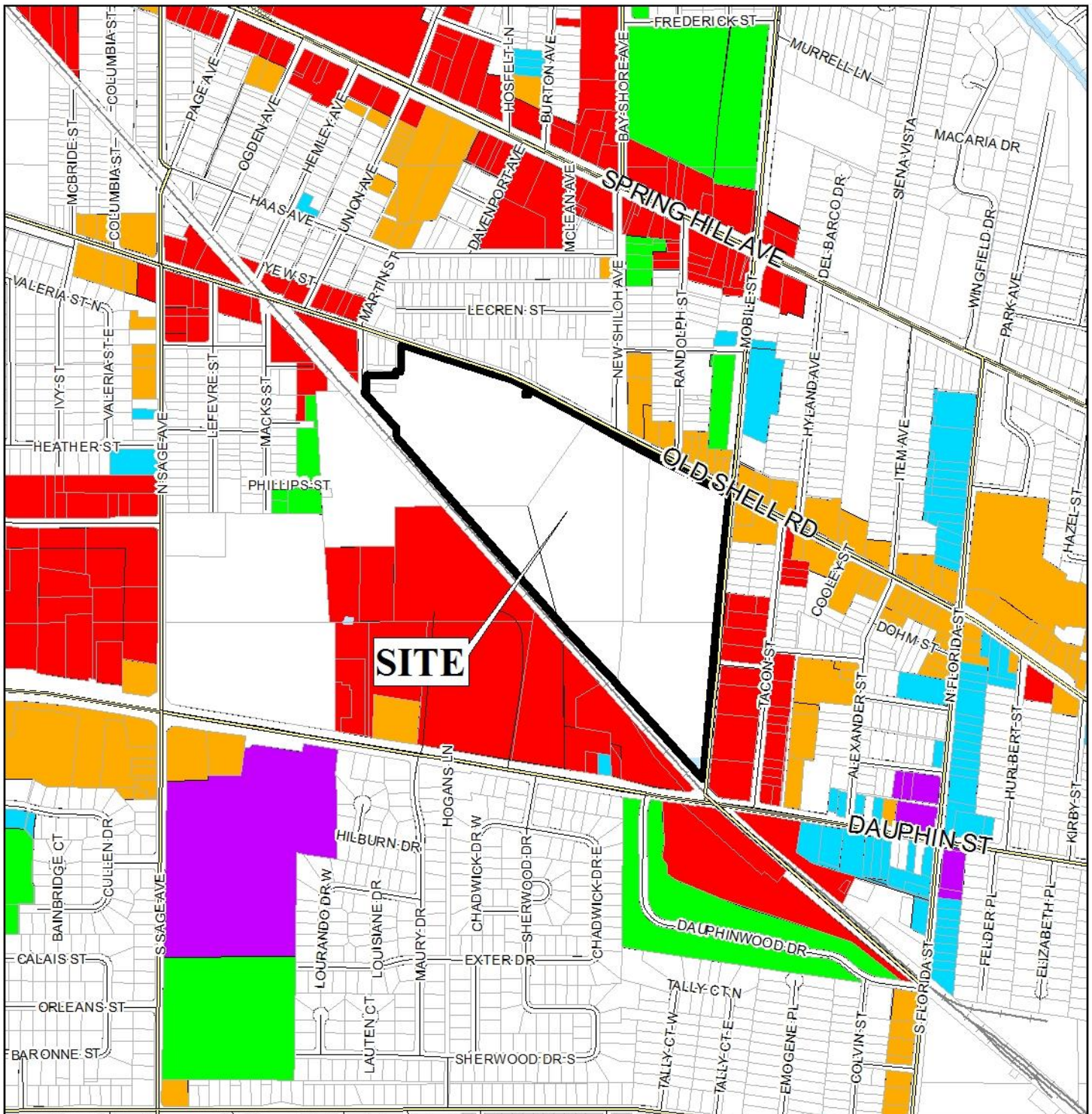
APPLICANT UMS-Wright Corporation

REQUEST Planning Approval, PUD





# LOCATOR ZONING MAP



APPLICATION NUMBER 16 DATE September 5, 2019

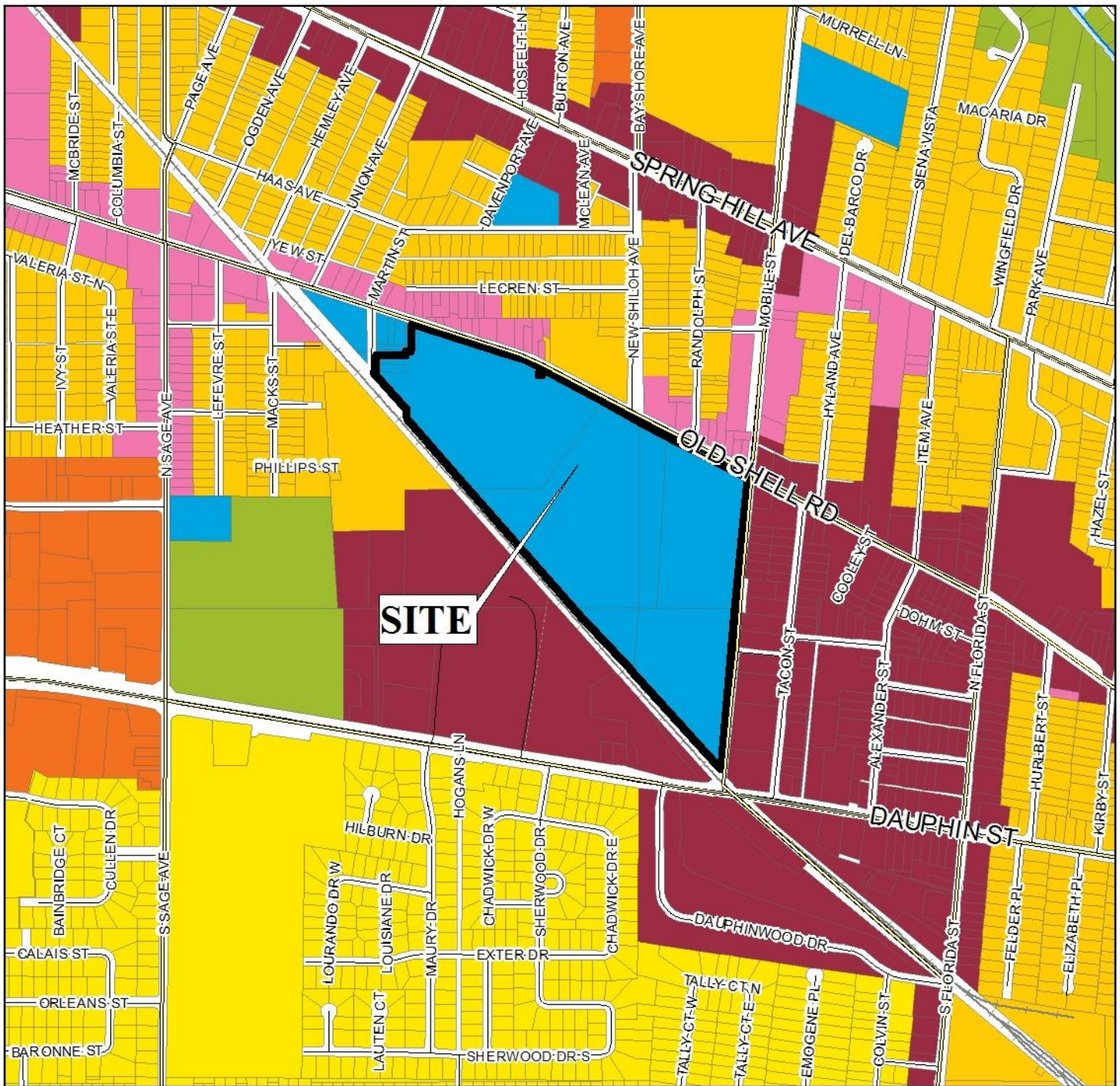
APPLICANT UMS-Wright Corporation

REQUEST Planning Approval, PUD





# FLUM LOCATOR MAP



APPLICATION NUMBER 16 DATE September 5, 2019

APPLICANT UMS-Wright Corporation

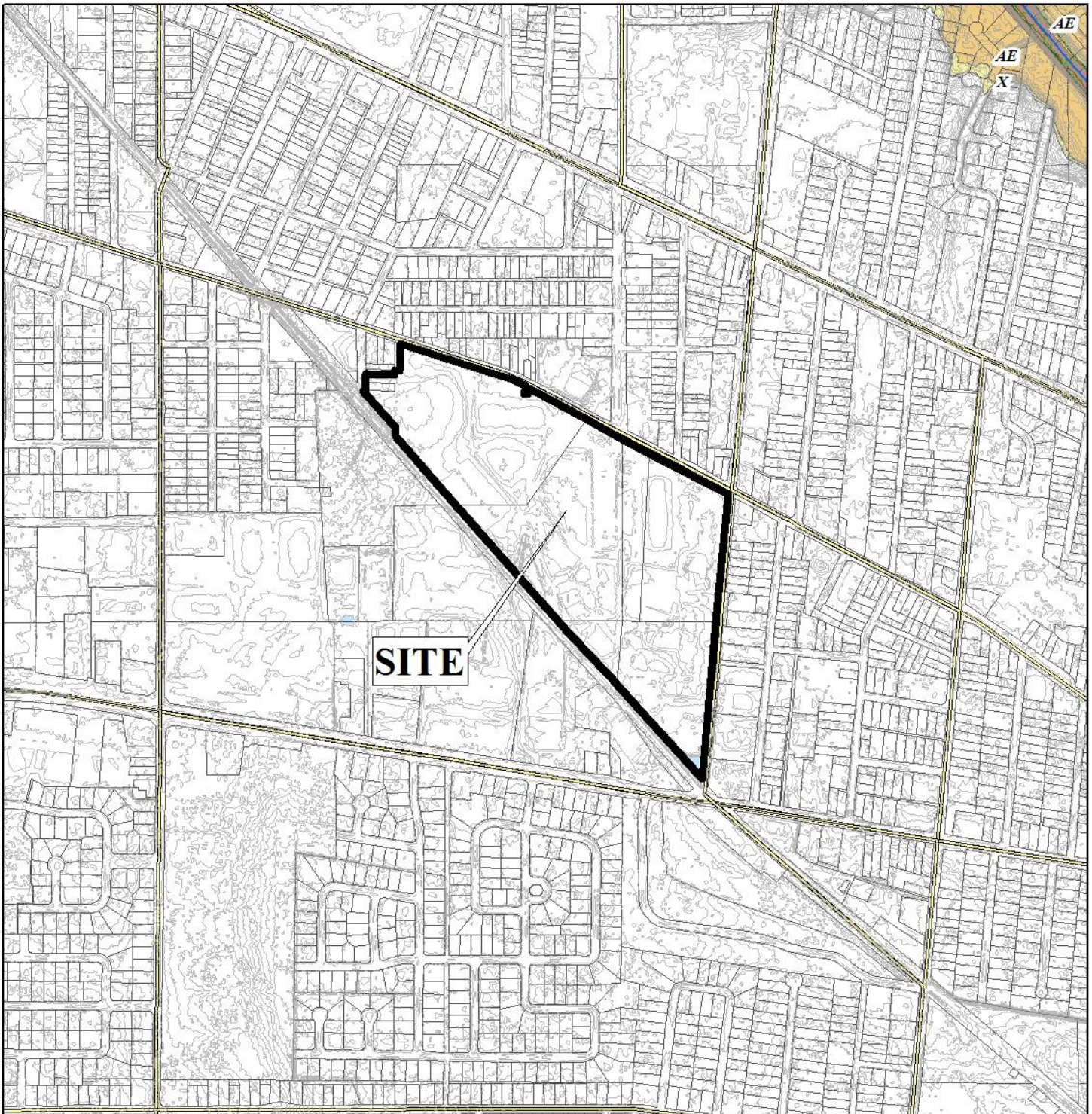
REQUEST Planning Approval, PUD

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	





# ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 16 DATE September 5, 2019

APPLICANT UMS-Wright Corporation

REQUEST Planning Approval, PUD





























The site is surrounded by residential and commercial units.

APPLICATION NUMBER 16 DATE September 5, 2019

APPLICATION NUMBER 19 DATE SEPTEMBER 1, 2009  
 APPLICANT UMS-Wright Corporation

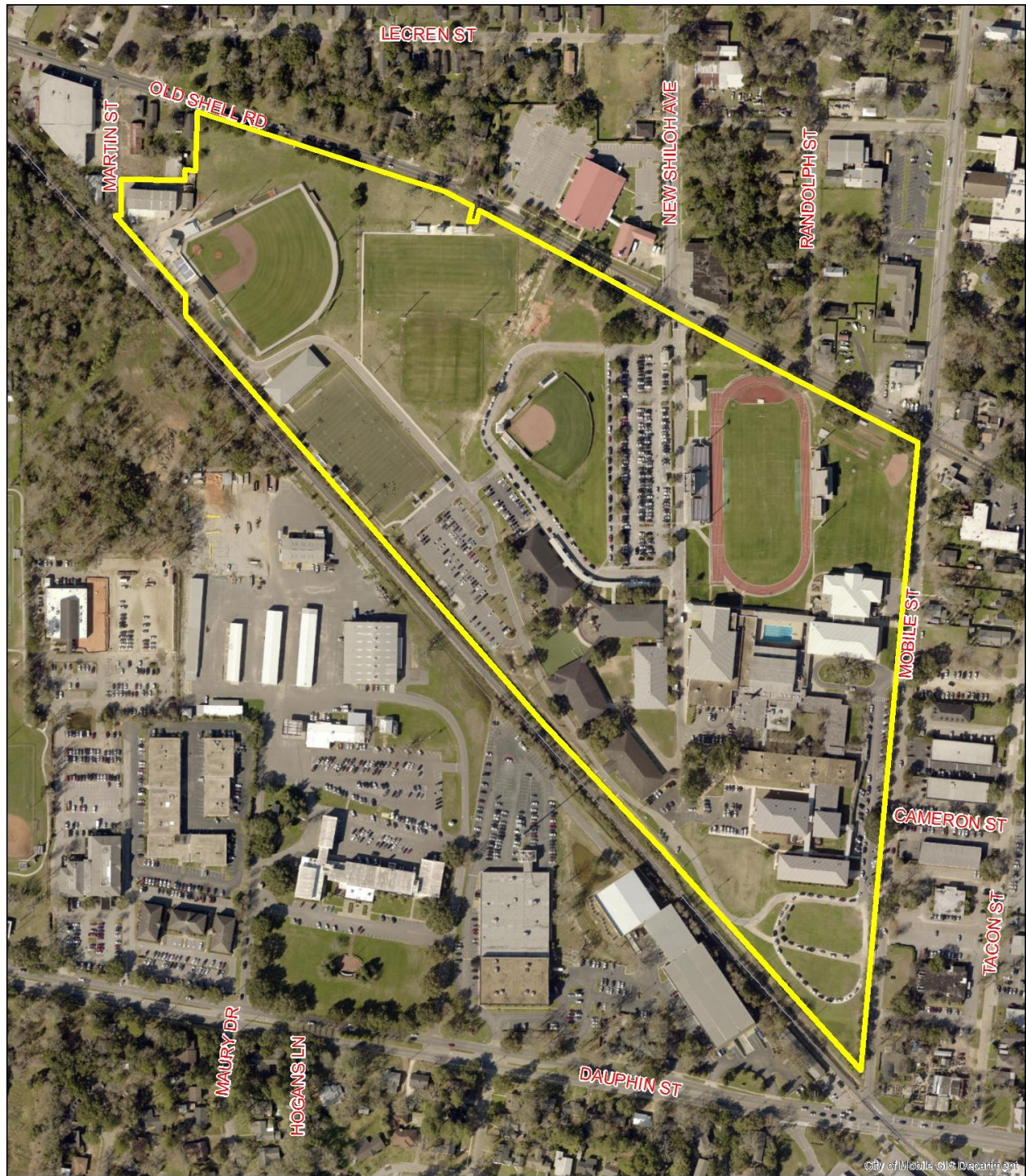
REQUEST Planning Approval, PUD

REQUEST	Planning Approval, FOD									
 R-A	 R-3	 T-B	 B-2	 B-5	 MUN	 SD-WH	 T5.1			
 R-1	 R-B	 B-1	 B-3	 I-1	 OPEN	 T3	 T5.2			
 R-2	 H-B	 LB-2	 B-4	 I-2	 SD	 T4	 T6			





# PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by residential and commercial units.

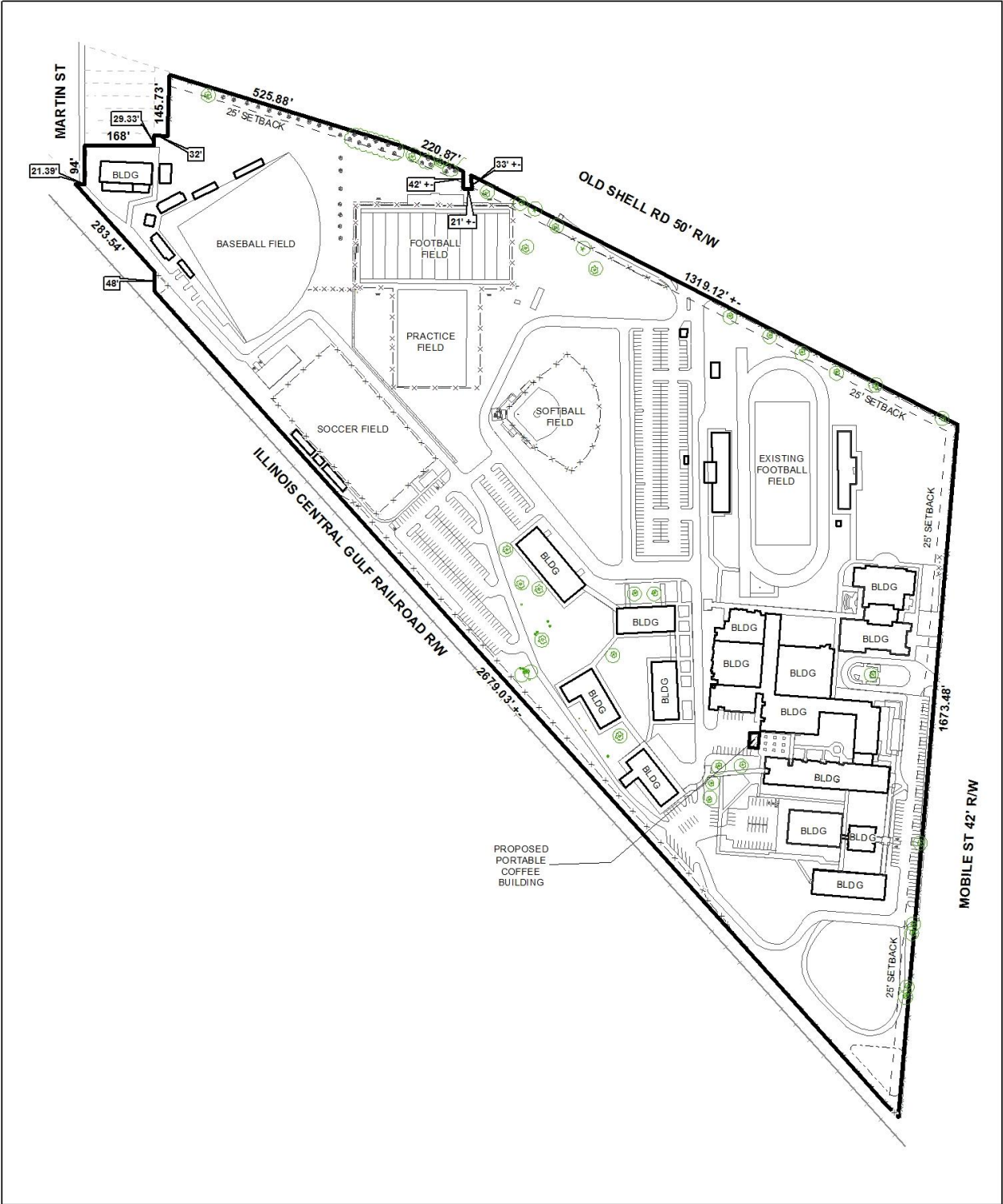
APPLICATION NUMBER	16	DATE	September 5, 2019
APPLICANT	UMS-Wright Corporation		
REQUEST	Planning Approval, PUD		



NTS



SITE PLAN



The site plan illustrates the proposed portable coffee building, the existing buildings, parking and setbacks.

APPLICATION NUMBER	16	DATE	September 5, 2019
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REQUEST	Planning Approval, PUD		

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