

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: January 19, 2012****DEVELOPMENT NAME**

Nephrology Associates

SUBDIVISION NAME

Nephrology Subdivision

LOCATION1551 Old Shell Road
(Southwest corner of Old Shell Road and North Catherine Street)**CITY COUNCIL
DISTRICT**

District 2

AREA OF PROPERTY2 Lots / 2.0 Acres \pm **CONTEMPLATED USE**

Planned Unit Development Approval to shared access and parking between two building sites, and Subdivision approval to create two legal lots of record from an existing metes and bounds parcel.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate upon approvals.

**ENGINEERING
COMMENTS**

Any work performed in the existing ROW (right-of-way) will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with all City of Mobile ROW code and ordinances. 2. A complete set of construction plans for the site work (including drainage, utilities, grading, stormwater systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work. 3. Must comply with all storm water and flood control ordinances Of the City of Mobile. 4. The natural topography of the site appears to indicate that stormwater runoff will discharge onto adjoining private property. Discharge from the site shall not be concentrated onto adjacent property without release agreement from all downstream property owners. It is imperative not to increase the volume of runoff on the downstream properties, thus construction of drainage system may be required along with appropriate drainage easements to protect downstream properties. 5. An ADEM NOI is required for any land disturbance activity over 1 acre. Provide a copy of the ADEM registration information for the site prior to the issuance of a Land Disturbance permit.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Parking aisles are illustrated in assumed vicinity of ADA parking for new building, but actual spaces are not designated. Additional ADA parking requirements may be applicable for the existing building. Sidewalk,

either existing or proposed, is not illustrated along Catherine Street adjacent to the proposed Lot 2 and should be included in the site plan.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

With the site being located within The Old Dauphin Way Historic District, all trees 8 inches DBH and larger will require a tree removal permit from Urban Forestry.

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

COMMENTS

The applicant is seeking Planned Unit Development Approval to allow shared access and parking between two building sites, and Subdivision approval to create two legal lots of record from an existing metes and bounds parcel. The site is located in Council District 2, and according to the applicant is served by public water and sanitary sewer.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The proposed lots, as depicted, meet the minimum size and frontage requirements as regulated by the Subdivision Regulations. The 25-foot minimum building setback line is depicted, and this should be retained on the Final Plat, if approved. The lot area sizes are not depicted on the plat, and these should be shown, in square feet, on the Final Plat, if approved.

The site fronts Old Shell Road to the North, and North Catherine Street to the East. Both Old Shell Road and North Catherine Street are minor streets provided with curb and gutter. Section V.B.14. of the Subdivision Regulations requires a right-of-way width of 50 feet for public roads provided with curb and gutter, and both streets are depicted with a sufficient 50-foot right-of-

way. Compliance with Section V.B.16. of the Subdivision Regulations regarding curb radii should be required at the intersection Old Shell Road and North Catherine Street.

The site currently has two curb cuts, one to Old Shell Road and one to North Catherine Street. The proposed site plan depicts the existing curb cuts remaining, with a new, additional curb cut on North Catherine Street south of the existing one. The site, with the approved PUD, will essentially function as a single building site. Given the 467.64 linear feet of frontage along North Catherine Street, an additional curb cut would not seem to be an issue. As such, a note should be placed on the Final Plat, if approved, stating that Lot 1 is limited to one curb cut to Old Shell Road and one curb cut to North Catherine Street and Lot 2 is limited to one curb cut to North Catherine Street with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards. It should be noted that the existing curb cut at Old Shell Road is less than 24 feet in width, and should be widened to the standard 24 feet.

The site abuts properties zoned R-1, Single-Family Residential, to the West and South. The site plan does not depict an adequate buffer, and a buffer compliant with Section 64-4.D.1. of the Zoning Ordinance. Further, a note should be placed on the Final Plat, if approved, stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations

Sidewalks are depicted for Lot 1, however no sidewalks are depicted for Lot 2. A city standard sidewalk should be shown along all public rights-of-way, or request a sidewalk waiver from the Planning Commission.

An adequate number of parking spaces are provided for the development, and accessways and maneuvering areas comply with the requirements of the Ordinance, with the exception of the aforementioned curb cut to Old Shell Road.

The site plan does not depict landscaping area or tree plantings. Full compliance with both landscaping area and tree plantings will be required.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for tentative approval subject to the following conditions:

- 1) dedication of a curb radius at the intersection of Old Shell Road and North Catherine Street compliant with Section V.B.16. of the Subdivision Regulations;
- 2) depiction of the 25-foot minimum building setback line along Shell Road and North Catherine Street;
- 3) depiction of the lot area size, exclusive of any required dedications, in square feet on the Final Plat;

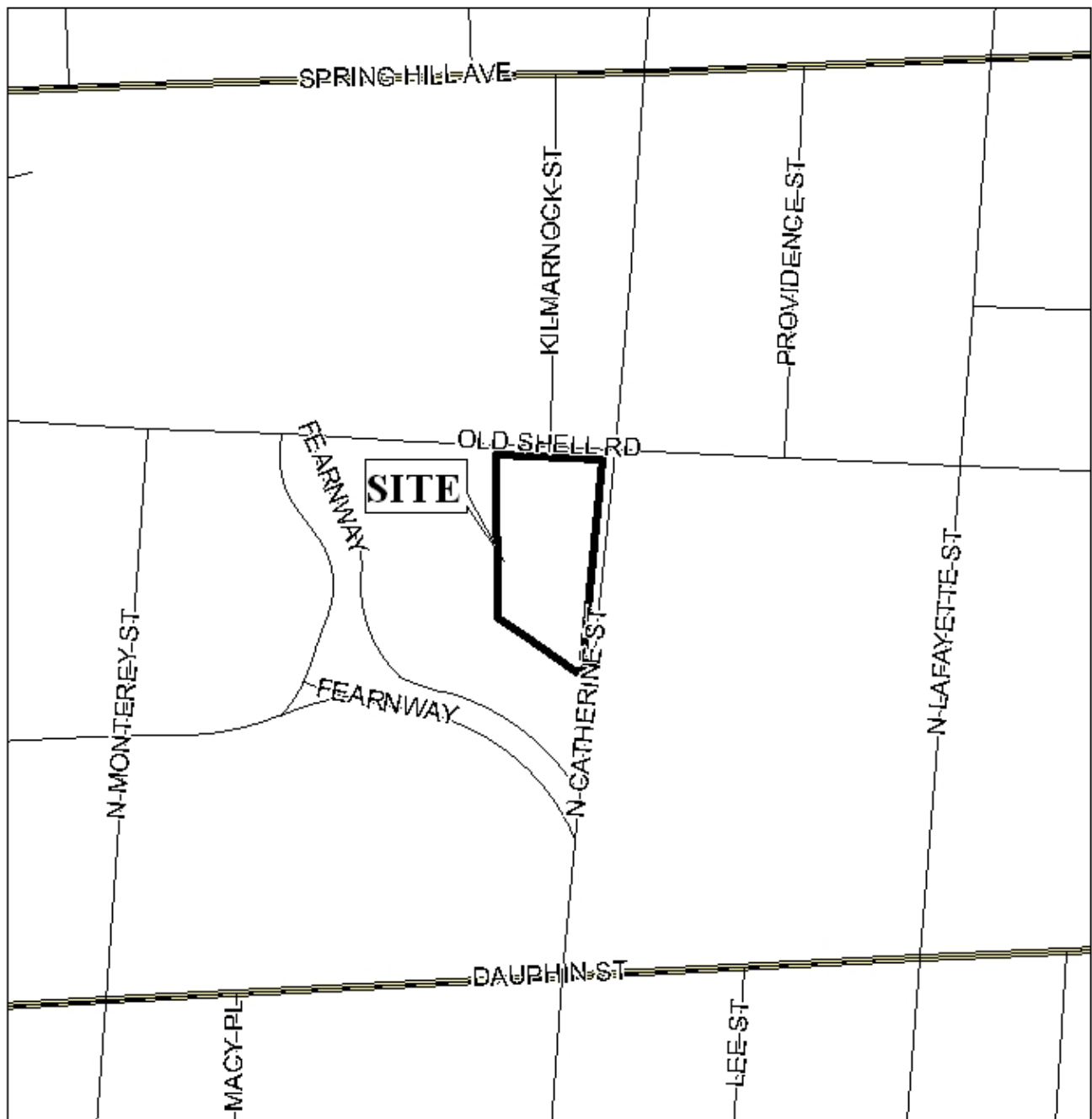
- 4) placement of a note on the Final Plat stating that Lot 1 is limited to one curb cut to Old Shell Road and one curb cut to North Catherine Street and Lot 2 is limited to one curb cut to North Catherine Street with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) compliance with Engineering comments: *“1. Any work performed in the existing ROW (right-of-way) will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with all City of Mobile ROW code and ordinances. 2. A complete set of construction plans for the site work (including drainage, utilities, grading, stormwater systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work. 3. Must comply with all storm water and flood control ordinances Of the City of Mobile. 4. The natural topography of the site appears to indicate that stormwater runoff will discharge onto adjoining private property. Discharge from the site shall not be concentrated onto adjacent property without release agreement from all downstream property owners. It is imperative not to increase the volume of runoff on the downstream properties, thus construction of drainage system may be required along with appropriate drainage easements to protect downstream properties. 5. An ADEM NOI is required for any land disturbance activity over 1 acre. Provide a copy of the ADEM registration information for the site prior to the issuance of a Land Disturbance permit;”*
- 6) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 7) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

Planned Unit Development: Based upon the preceding, this application is recommended for approval subject to the following conditions:

- 1) depiction of any required dedications and minimum building setback line on the site plan;
- 2) depiction of a buffer compliant with Section 64-4.D.1. of the Zoning Ordinance wherever the site abuts residentially zoned property;
- 3) compliance with landscaping and tree planting requirements of the Zoning Ordinance;
- 4) depiction of a city standard sidewalk along all public rights-of-way, or request a sidewalk waiver from the Planning Commission;
- 5) widening of the existing curb cut on Old Shell Road to 24 feet;
- 6) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 7) compliance with Traffic Engineering comments: *“Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Parking aisles are illustrated in assumed vicinity of ADA parking for new building, but actual spaces are not designated. Additional ADA parking requirements may be applicable for the existing building. Sidewalk, either existing or proposed, is not illustrated along Catherine Street adjacent to the proposed Lot 2 and should be included in the site plan;”*

- 8) compliance with Engineering comments: *“1. Any work performed in the existing ROW (right-of-way) will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with all City of Mobile ROW code and ordinances. 2. A complete set of construction plans for the site work (including drainage, utilities, grading, stormwater systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work. 3. Must comply with all storm water and flood control ordinances Of the City of Mobile. 4. The natural topography of the site appears to indicate that stormwater runoff will discharge onto adjoining private property. Discharge from the site shall not be concentrated onto adjacent property without release agreement from all downstream property owners. It is imperative not to increase the volume of runoff on the downstream properties, thus construction of drainage system may be required along with appropriate drainage easements to protect downstream properties. 5. An ADEM NOI is required for any land disturbance activity over 1 acre. Provide a copy of the ADEM registration information for the site prior to the issuance of a Land Disturbance permit;”* and
- 9) provision of two copies of the revised site plan incorporating the above conditions to the Planning Section of Urban Development prior to any land disturbance activities.

LOCATOR MAP



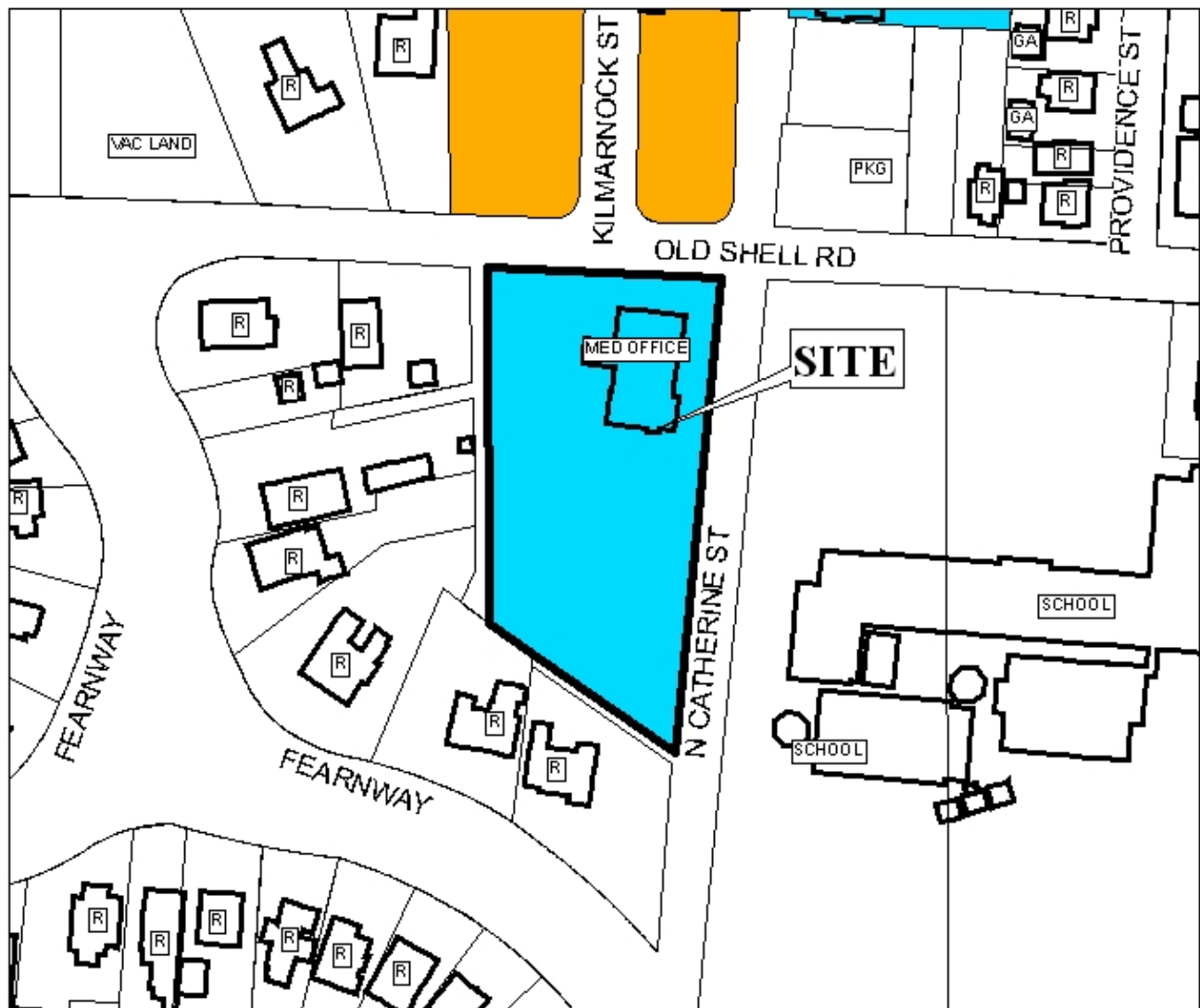
APPLICATION NUMBER 16 & 17 DATE January 19, 2012

APPLICANT Nephrology Subdivision

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single family residences are located to the west and north of the site. A school is located to the east of the site.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single family residences are located to the west and north of the site. A school is located to the east of the site.

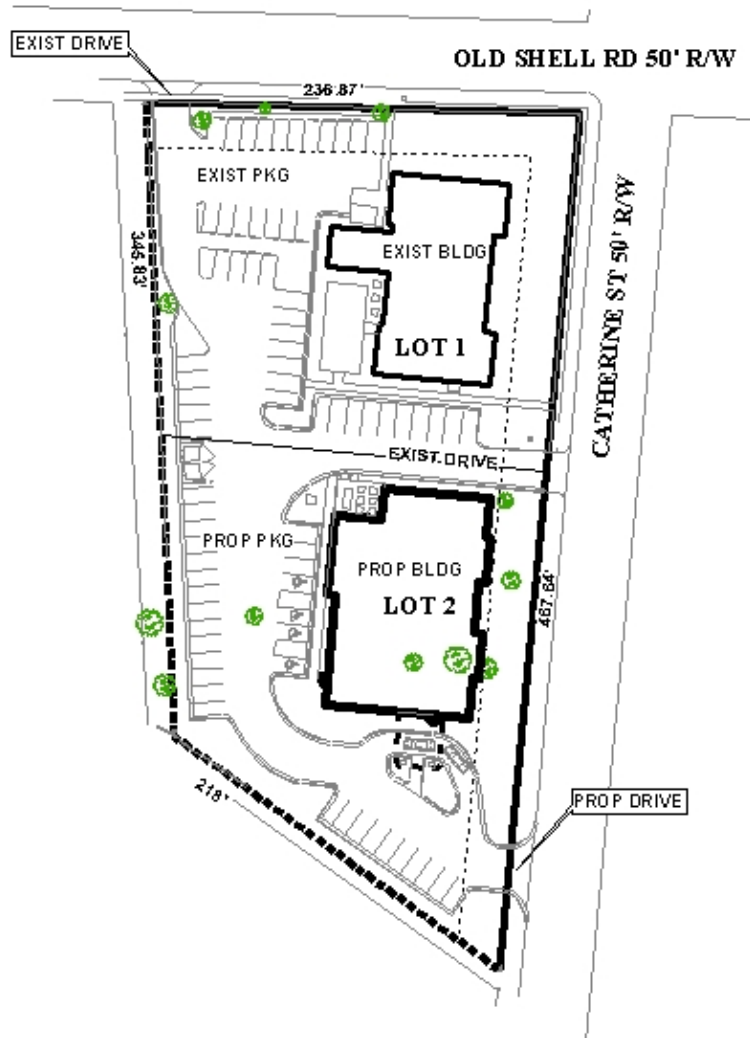
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SITE PLAN



The site plan illustrates the existing improvements, proposed building, parking, and lot configuration.

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