

PLANNING APPROVAL,
PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT

Date: November 19, 2009

NAME

Rev. Cleveland McFarland Jr.

SUBDIVISION NAME

St. Peter Subdivision

LOCATION

650 South Bayou Street
(Southwest corner of South Bayou Street and New Jersey Street, and extending to the North side of Montgomery Street and to the East side of Jefferson Street)

CITY COUNCIL
DISTRICT

District 2

PRESENT ZONING

R-1, Single-Family Residential District; and R-2, Two-Family Residence District

AREA OF PROPERTY

1 lot / 1.5 acres \pm (Subdivision)
2 lots / 1.89 acres \pm (PUD)

CONTEMPLATED USE

Planning Approval to allow the expansion of a church in an R-2, Two-Family Residential District and offsite parking in an R-1, Single-Family Residential District, Planned Unit Development Approval to allow multiple buildings on a single building site, offsite parking and reduced setbacks, and Subdivision approval to create one legal lot of record.

TIME SCHEDULE
FOR DEVELOPMENT

Immediate

ENGINEERING
COMMENTS

It appears from the City of Mobile GIS data that the property is entirely located within the X-Shaded Flood Zone. Label the lot on the plat showing the required minimum finished floor elevation (MFFE). Since the lot is located in the X-Shaded Flood Zone; add a note to the plat stating that there is to be no fill brought onto the property without the approval of the City Engineer. Need to provide documentation if claiming historical credit for detention. Must comply with all other storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Any damaged sidewalk sections or damaged driveway aprons in the ROW are required to be replaced.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Preservation status is to be given to the 48" Live Oak Tree located on the South side of proposed new building. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

FIRE DEPARTMENT**COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is requesting Planning Approval to allow the expansion of a church in an R-2, Two-Family Residential District, and offsite parking in an R-1, Single-Family Residential District, Planned Unit Development approval to allow multiple buildings on a single building site, offsite parking, reduced setbacks and Subdivision approval to create one legal lot of record. Churches require Planning Approval when located in R-1 and R-2 districts.

The applicant, St. Peter Baptist Church, proposes to construct a 23,730 square foot 2-story multi-purpose building. The applicant states that the new building will be located within the existing parking lot area, therefore, the parking lot will have to be reconfigured and a new driveway entrance from Montgomery Street will be added.

Planned Unit Development review, stated in Section 64-5. of the Zoning Ordinance, examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazards, and to determine if the proposal is in harmony with the orderly and appropriate development of the district. It is very important to note that the Planning Approval review is **site**

plan specific; therefore, any future changes to the site plans, as approved, by current or future applicants must be submitted for Planning Approval review.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site fronts South Bayou Street, to the North is New Jersey, to the South is Montgomery Street, and to the West is South Jefferson Street. The site is bound by four minor streets provided with curb and gutter. The right-of-way width for all four streets meets the minimum standards. No dedication is required.

The seating capacity of the sanctuary is 520 persons which require 130 parking spaces. The applicant states that the existing available parking will be reduced to 69 spaces on the primary lot. The applicant also states that there is an existing parking lot across South Bayou Street which has 35 parking spaces for a total of 104 parking spaces. The applicant further states that there are sufficient parking spaces on New Jersey Street and Jefferson Street to make up the deficiency and a site variance application is being submitted to the Board of Zoning Adjustment. The proposed parking areas meet the minimum access and maneuvering requirements of the Zoning Ordinance. It should also be noted that the Planning Commission has never counted on-street parking towards meeting required parking.

The area undergoing new construction should be brought into compliance with the Zoning Ordinance in terms of trees, landscaping, lighting and residential adjacency buffering. Thus, frontage trees should be provided along South Bayou Street (and are depicted on the site plan), and perimeter trees and a 6-foot high wooden privacy fence should be provided where the parking area abuts residentially developed properties. It should be noted that the wooden privacy fence should not exceed 3-feet in height where the fence is within 25-feet of a street right-of-way. The parking lot portions of the site should also comply with Section 64-6.A.3.i of the Zoning Ordinance for screening and landscaping requirements for parking lots with regards to buffer planting strips with a minimum height of 3 feet inside the street property line where they are across the street from residentially zoned property. Furthermore, as required by Section 64-6.A.3.c of the Zoning Ordinance, any lighting for the parking lots shall be so arranged that the source of light does not shine directly into adjacent residential properties or into traffic.

It should be noted that the subdivision plat has an incorrect legal description for parcel two, and the offsite parking lot legal description was not submitted with the Planning Approval and PUD applications. A corrected legal description should be submitted, and all legal descriptions should be added to the Planning Approval and PUD site plans.

It should also be noted that Tree and Landscape data was noted on the plat for proposed lot 1. The applicant did not provide any Tree and Landscape data for the offsite parking lot, therefore, the site plan should be revised to show all Tree and Landscape data for both sites. The applicant

provided a note on the site plan of the lot size in square feet for proposed lot 1 but no note was provided for the lot size of the off site parking lot.

The proposed parking area should be designed so that vehicles that park do not over hang the concrete wheel stops to the extent that any existing or provided privacy fencing is damaged, or property lines crossed.

Dumpster locations for the site are not depicted on the site plan to comply with Section 64-4.D.9 of the Zoning Ordinance; therefore, the applicant should make a provision for dumpster locations and place a note on the site plan stating that dumpsters will be completely screened from view. If dumpsters will not be used, provide a statement indicating such, and how garbage will be removed from the site.

Access for the site should be limited to the existing curb-cuts onto South Bayou Street, and limited to one, new curb-cut onto Montgomery Street. The size, design and location of all new or revised curb-cuts must be approved by Traffic Engineering, and should comply with AASHTO standards.

The 25-foot minimum building setback line is depicted on the plat and site plan on all street sides except for Jefferson Street. The applicant is proposing a 20-foot setback on Jefferson Street and states that they have submitted this request in their Variance application.

Finally, one copy of each of the revised Planning Approval and PUD site plans should be submitted to the Planning Section of Urban Development prior to the signing of any Subdivision plat.

RECOMMENDATION

Planning Approval: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) Completion of the Subdivision process prior to application for building/Land Disturbance permits;
- 2) Compliance with Urban Forestry comments (*Preservation status is to be given to the 48" Live Oak Tree located on the South side of proposed new building. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger*);
- 3) Depiction and provision of a 6-foot high wooden privacy fence around the perimeter of the site where it abuts existing residential development, with the exception of within 25-feet of a street right-of-way, where the fence shall not exceed 3-feet in height;
- 4) Provision of trees and landscaping for the off site parking lot area, to bring that portion of the site into compliance with the requirements of the Zoning Ordinance;
- 5) Depiction of dumpster locations on the site plan to comply with Section 64-4.D.9 of the Zoning Ordinance and placement of a note on the site plan stating that dumpsters will be completely screened from view or placement of a note stating how garbage will be removed;

- 6) Placement of a note on both site plans stating that lighting of parking facilities will comply with Section 64-6.A.3.c of the Zoning Ordinance;
- 7) Placement of a note on both site plans stating that the site will be in full compliance with screening and landscaping requirements for parking lots to comply with Section 64-6.A.3.i of the Zoning Ordinance;
- 8) Revision of the site plans with the correct legal description for parcel two and provision of the legal description of the off site parking lot;
- 9) Compliance with Engineering comments (*It appears from the City of Mobile GIS data that the property is entirely located within the X-Shaded Flood Zone. Label the lot on the plat showing the required minimum finished floor elevation (MFFE). Since the lot is located in the X-Shaded Flood Zone; add a note to the plat stating that there is to be no fill brought onto the property without the approval of the City Engineer. Need to provide documentation if claiming historical credit for detention. Must comply with all other storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Any damaged sidewalk sections or damaged driveway aprons in the ROW are required to be replaced*);
- 10) Placement of a note on the site plan stating that any changes to the site plan will require new applications for Planning Approval and Planned Unit Development Approval prior to the issuance of any permits; and
- 11) Full compliance with all other municipal codes and ordinances, and the obtaining of the appropriate permits.

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

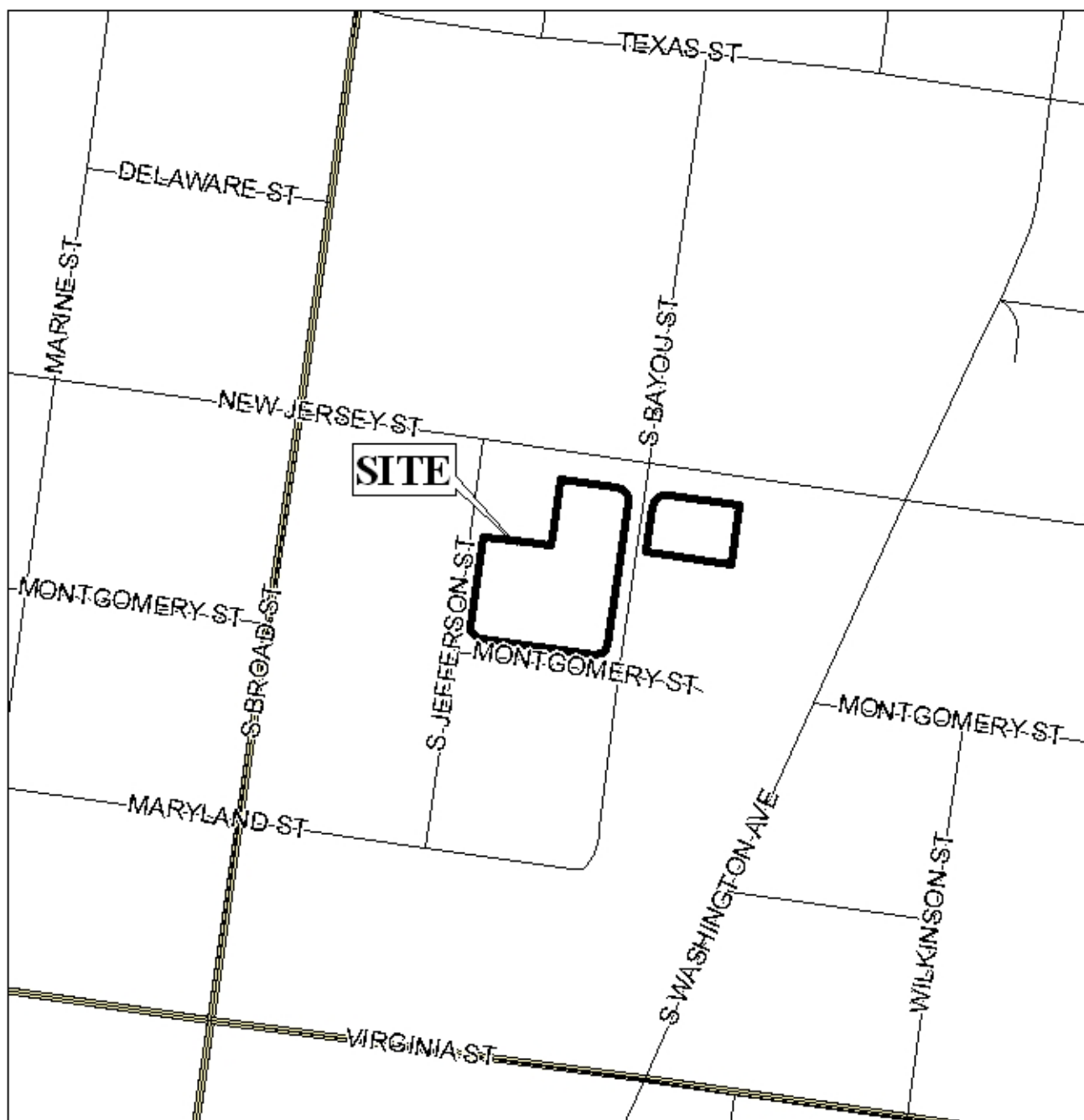
- 1) Completion of the Subdivision process prior to application for building/Land Disturbance permits;
- 2) Compliance with Urban Forestry comments (*Preservation status is to be given to the 48" Live Oak Tree located on the South side of proposed new building. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger*);
- 3) Depiction and provision of a 6-foot high wooden privacy fence around the perimeter of the site where it abuts existing residential development, with the exception of within 25-feet of a street right-of-way, where the fence shall not exceed 3-feet in height;
- 4) Provision of trees and landscaping for the off site parking lot area, to bring that portion of the site into compliance with the requirements of the Zoning Ordinance;
- 5) Depiction of dumpster locations on the site plans to comply with Section 64-4.D.9 of the Zoning Ordinance and placement of a note on the site plans stating that dumpsters will be completely screened from view or placement of a note stating how garbage will be removed;
- 6) Placement of a note on both site plans stating that lighting of parking facilities will comply with Section 64-6.A.3.c of the Zoning Ordinance;
- 7) Placement of a note on both site plans stating that the site will be in full compliance with screening and landscaping requirements for parking lots to comply with Section 64-6.A.3.i of the Zoning Ordinance;

- 8) Revision of the site plans with the correct legal description for parcel two and provision of the legal description of the off site parking lot;
- 9) Compliance with Engineering comments (*It appears from the City of Mobile GIS data that the property is entirely located within the X-Shaded Flood Zone. Label the lot on the plat showing the required minimum finished floor elevation (MFFE). Since the lot is located in the X-Shaded Flood Zone; add a note to the plat stating that there is to be no fill brought onto the property without the approval of the City Engineer. Need to provide documentation if claiming historical credit for detention. Must comply with all other storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Any damaged sidewalk sections or damaged driveway aprons in the ROW are required to be replaced*);
- 10) Placement of a note on the site plans stating that any changes to the site plan will require new applications for Planning Approval and Planned Unit Development Approval prior to the issuance of any permits; and
- 11) Full compliance with all other municipal codes and ordinances, and the obtaining of the appropriate permits.

Subdivision: Based upon the preceding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) Placement of a note on the Final Plat stating that the development is limited to the existing curb-cuts onto South Bayou Street, and limited to one, new curb-cut onto Montgomery Street with the size, design and location of all new or revised curb-cuts must be approved by Traffic Engineering, and should comply with AASHTO standards.
- 2) Retention of the 25-foot setback on all street sides with the exception of Jefferson Street providing for a 20-foot setback;
- 3) Revision of the plat with the correct legal description for parcel two;
- 4) Submission of one copy of each of the revised Planning Approval and PUD site plans to the Planning Section prior to signing of the Final Plat; and
- 5) Full compliance with all municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 16 & 17 & 18 DATE November 19, 2009

APPLICANT St. Peter Subdivision

REQUEST Subdivision, PUD, Planning Approval



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by miscellaneous land use.

APPLICATION NUMBER 16 & 17 & 18 DATE November 19, 2009

APPLICANT St. Peter Subdivision

REQUEST Subdivision, PUD, Planning Approval

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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NTS



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by miscellaneous land use.

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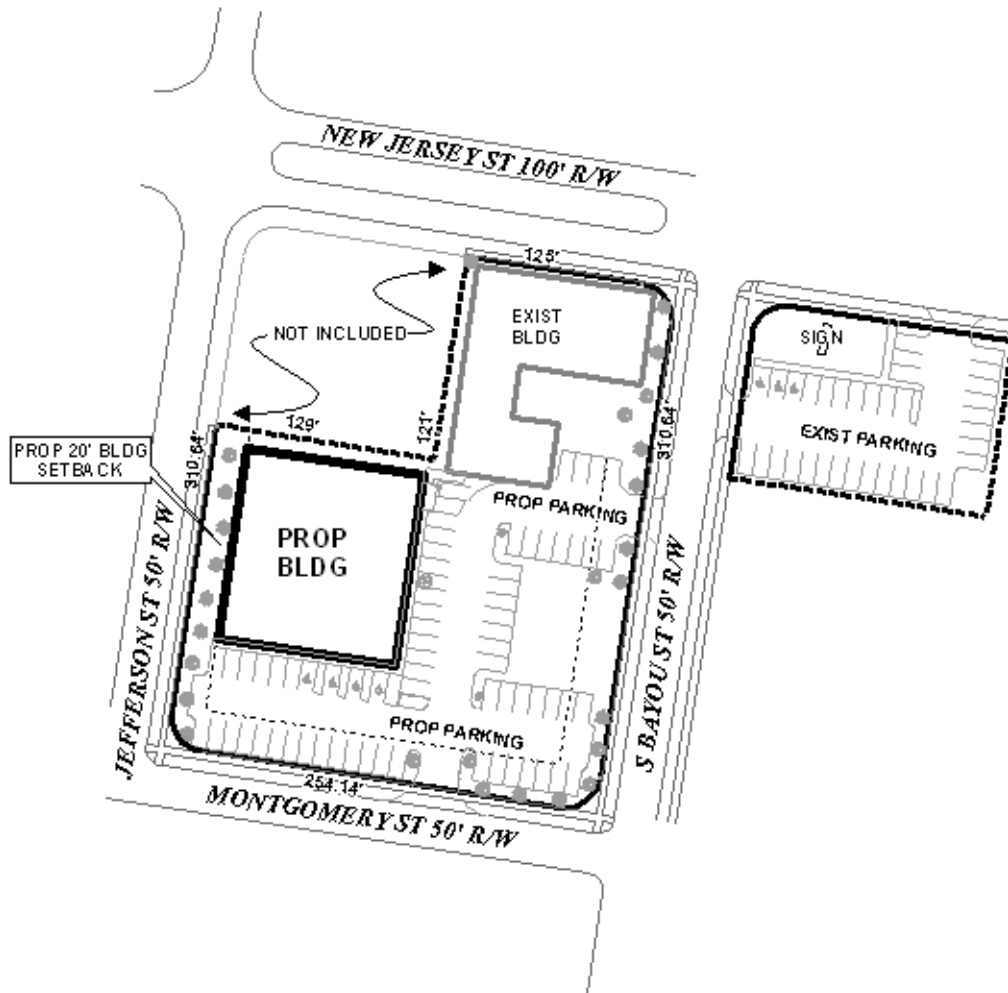
APPLICANT St. Peter Subdivision

REQUEST Subdivision, PUD, Planning Approval



NTS

SITE PLAN



The site plan illustrates the proposed building and parking

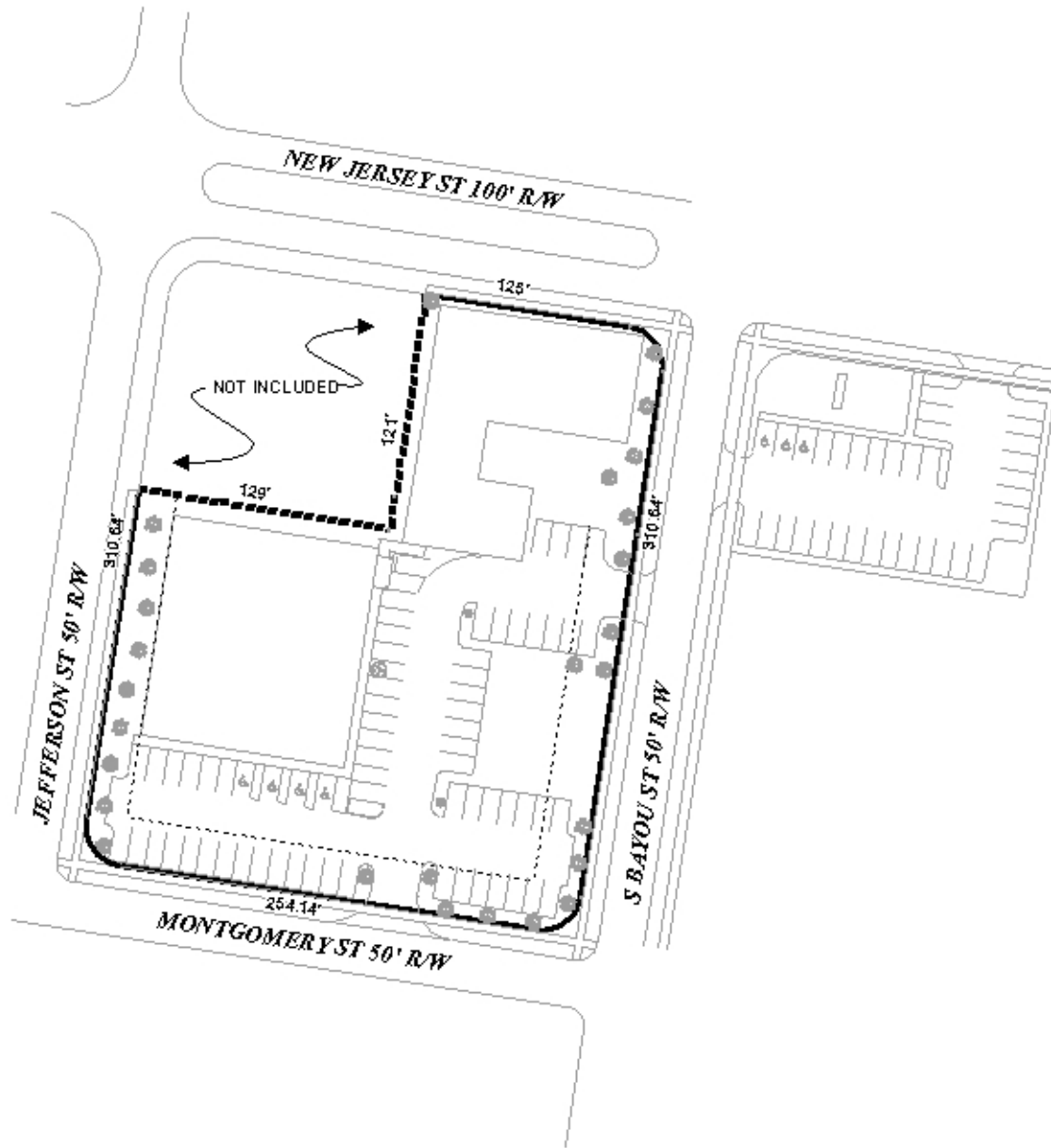
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APPLICANT St. Peter Subdivision

REQUEST Subdivision, PUD, Planning Approval

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SUBDIVISION PLAT



APPLICATION NUMBER 16 & 17 & 18 DATE November 19, 2009

APPLICANT St. Peter Subdivision

REQUEST Subdivision, PUD, Planning Approval

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