

**PLANNED UNIT DEVELOPMENT,
PLANNING APPROVAL &
SUBDIVISION STAFF REPORT****Date: July 17, 2014**

<u>NAME</u>	Asian Square 2 Subdivision
<u>SUBDIVISION NAME</u>	Asian Square 2 Subdivision
<u>LOCATION</u>	472 and 476 Azalea Road (West side of Azalea Road, 420' ± North of Gaylark Road North)
<u>CITY COUNCIL DISTRICT</u>	District 5
<u>PRESENT ZONING</u>	B-2, Neighborhood Business District
<u>AREA OF PROPERTY</u>	2 lots / 0.6 ± acres
<u>CONTEMPLATED USE</u>	Planning Approval to allow a seafood store in a B-2, Neighborhood Business District, Planned Unit Development approval to allow shared parking between two building sites, and Subdivision approval to create two legal lots.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Not specified.
<u>ENGINEERING COMMENTS</u>	

Subdivision: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any existing development (since 1984) that did not receive Land Disturbance permitting and for any future addition(s) and/or land disturbing activity.
- C. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 22 - #84) the Lot will receive historical credit of impervious area towards

storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.

- D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- E. Revision of the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- F. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
- G. Provide and label the monument set or found at each subdivision corner.
- H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- I. Provide the Surveyor's Certificate.
- J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- K. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- L. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Planned Unit Development:

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 4. The proposed development must comply with all Engineering Department Policy Letters.

Planning Approval: No comments.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Planning Approval to allow a seafood store in a B-2, Neighborhood Business District, Planned Unit Development approval to allow shared parking between two building sites, and Subdivision approval to create two legal lots. A seafood store requires Planning Approval when located in B-2 districts.

The applicant intends to utilize the front half of an existing 4,280 sf. commercial building as a proposed 1,800 sf. seafood store with the remaining portion of the building used as warehouse space for the adjacent 3,600 sf. commercial building which is divided into warehouse and retail space.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

Planning Approval and PUD approval are site plan specific, thus the plan must be accurate at time of submittal, and any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent

developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

It should be pointed out that the site most recently appeared before the Planning Commission at its October 6, 2011 meeting for a similar request. At that time, the applicant proposed an 1,800 sf restaurant use which required more parking than could be accommodated on site. Also, Staff had concerns in regards to the proposed traffic circulation as the only access would have been via adjacent property - the application was subsequently withdrawn. The current request differs in that the parking ratio will not increase from the existing ratio as the applicant is now proposing a seafood store; thus allowing all proposed parking to be accommodated on site. The applicant is also proposing a new curb-cut for direct Azalea Road; however, existing cross access to adjacent sites will remain.

In accordance with the Subdivision Regulations, the maximum depth of the proposed Lots 1 and 2 is more than 3.5 times the width at the minimum building setback line and, as such, a waiver of Section V.D.3. will be required for approval. Both proposed lots exceed the minimum size requirements. The lot size in square feet and acres and 25' minimum building setback line should be depicted on the site plan and Final Plat, if approved.

The site fronts Azalea Road, a planned major street, with a compliant 130' right-of-way and, as such, no dedication is required.

Parking and maneuvering areas appear to be compliant with Section 64-6. of the Zoning Ordinance as it relates to accessibility, bumper stops, stall and aisle dimensions, and quantity (for both retail and warehouse uses). Currently, the site does not have a curb-cut to Azalea Road as access is via adjacent property; however, the applicant is proposing to provide a curb-cut to Azalea Road so that the inclusion of the adjacent property to the south in the PUD is not required. As a means of access management, both proposed lots should be limited to proposed one (1) shared curb-cut, with any changes to the size, design, and location to be approved by Traffic Engineering and conform to AASHTO standards. Also, any future development should be limited to retail, office, and food uses with a parking ratio of 1 parking space per 300 square feet, or new applications will be required.

It should be noted that the site plan does not depict the proposed onsite traffic circulation nor show the location of any proposed freestanding or monument sign structures. Any revised site plan should depict onsite traffic circulation and the location of any proposed sign structures, if applicable.

It should also be pointed out that the site plan does not depict a sidewalk along Azalea Road; however, a note on the site plan states that the applicant is requesting a Sidewalk Waiver. As such, the submission of a Sidewalk Waiver request is required, and if denied, a revised site plan should be submitted depicting a sidewalk along Azalea Road.

Trees and landscaping are illustrated on the site plan; however, it appears the proposed tree credits were calculated using an incorrect calculation, which affects the total number of trees

which may be required on site, should the credits not be sufficient. The site plan should be revised to quantify and illustrate full compliance with the tree and landscaping requirements of Section 64-4.E. of the Zoning Ordinance.

The site plan depicts a proposed dumpster pad with screening along the northern property line of the proposed Lot 1. If approved, a note should be placed on the Final Plat and site plan stating compliance with Section 64-4.D.9. of the Zoning Ordinance regarding dumpster compliance.

The site is adjacent to R-1, Single-family Residential along the site's western lot line. The site plan depicts an existing 6' wooden privacy fence along said lot line, which should satisfy the buffer requirement of the Zoning Ordinance.

Any new lighting on the site will have to comply with the requirements of Sections 64-4.A.2., 64-6.A.3.c., and 64-6.A.8. of the Zoning Ordinance. A note reflecting this requirement should appear on the site plan.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

Subdivision: With a waiver of Section V.D.3. of the Subdivision Regulations, the application is recommended for tentative approval, subject to the following conditions:

- 1) Depiction of the 25' minimum building setback line and lot size information in square feet and acres on the Final Plat;
- 2) Retention of the right-of-way widths on the Final Plat;
- 3) Placement of a note on the Final Plat stating: (*Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.*);
- 4) Placement of a note on the Final Plat stating both proposed Lots 1 and 2 are limited to one (1) shared curb-cut, with any changes to the size, design, and location to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) Compliance with Traffic Engineering Comments: (*Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.*);
- 6) Compliance with Engineering Comments: (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any existing development*

(since 1984) that did not receive Land Disturbance permitting and for any future addition(s) and/or land disturbing activity. C. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 22 - #84) the Lot will receive historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. E. Revision of the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. F. Provide a written legal description for the proposed subdivision and matching bearing and distance labels. G. Provide and label the monument set or found at each subdivision corner. H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. I. Provide the Surveyor's Certificate. J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. K. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. L. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);

- 7) Compliance with Urban Forestry Comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);
- 8) Compliance with Fire Department Comments: (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);
- 9) Completion of the Planning Approval and PUD process prior to the signing of the Final Plat; and
- 10) Submission of a revised, approved PUD site plan prior to the signing of the Final Plat.

Planned Unit Development: The application is recommended for approval, subject to the following conditions:

- 1) Depiction of a sidewalk along Azalea Road or the submission of a Sidewalk Waiver request;
- 2) Revision of the site plan to illustrate and quantify full compliance with the tree and landscaping requirements of Section 64-4.E. of the Zoning Ordinance;
- 3) Revision of the site plan to depict the 25' minimum building setback line;
- 4) Revision of the site plan to depict the proposed onsite traffic circulation;
- 5) Revision of the site plan to depict the location of any proposed freestanding or monument sign;
- 6) Placement of a note on the site plan stating compliance with Section 64-4.D.9. of the Zoning Ordinance regarding dumpster compliance;

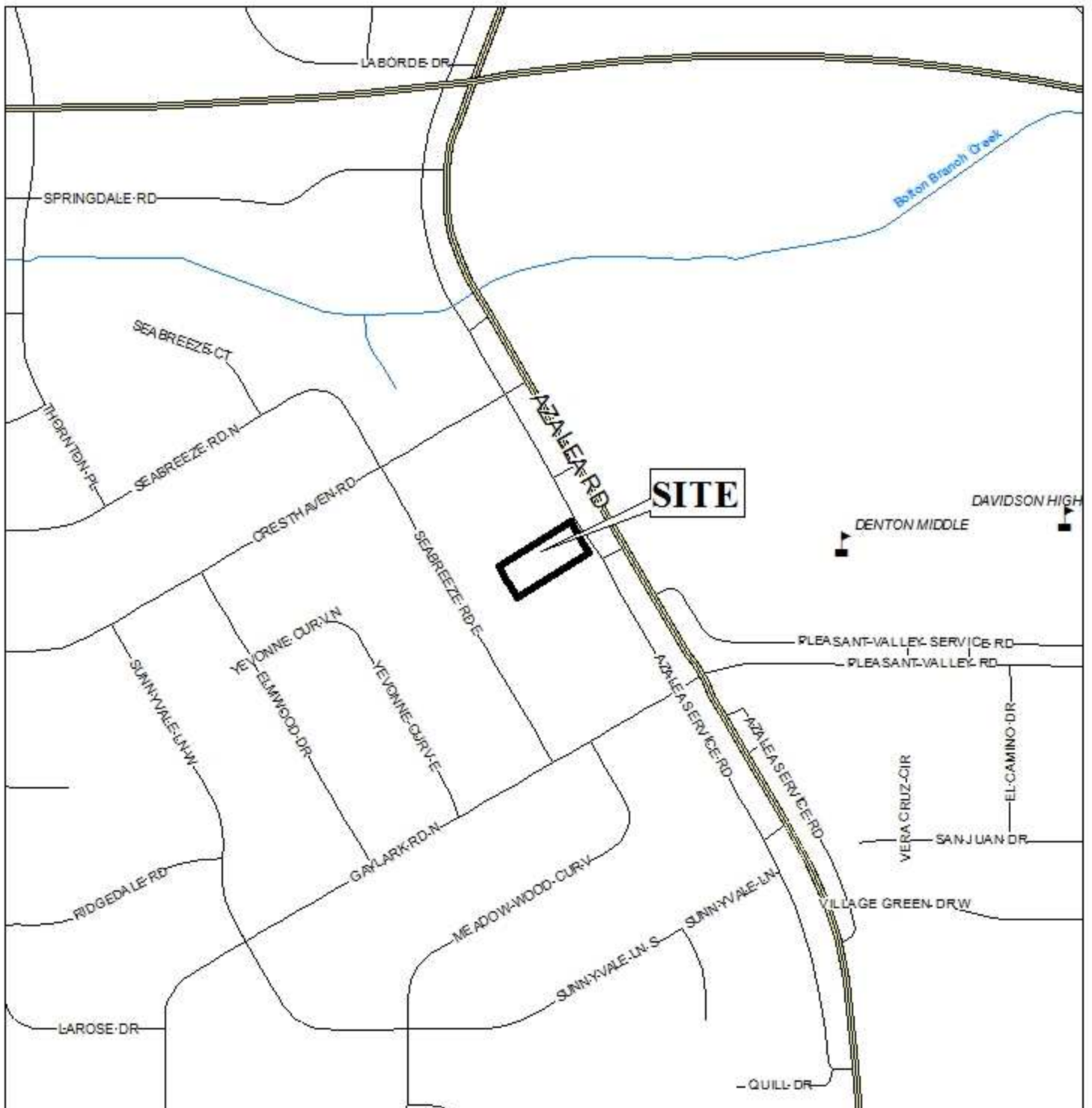
- 7) Placement of a note on the site plan stating: *(any new lighting on the site will have to comply with the requirements of Sections 64-4.A.2., 64-6.A.3.c., and 64-6.A.8. of the Zoning Ordinance.);*
- 8) Compliance with Traffic Engineering Comments: *(Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 9) Compliance with Engineering Comments: *(ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The proposed development must comply with all Engineering Department Policy Letters.);*
- 10) Compliance with Urban Forestry Comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 11) Compliance with Fire Department Comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 12) Submission of a revised, approved PUD site plan prior to the signing of the Final Plat;
- 13) Development limited to retail, office, and food uses with a parking ratio of 1 parking space per 300 square feet, or new applications will be required; and
- 14) Full compliance with all other Municipal codes and ordinances.

Planning Approval: The application is recommended for approval, subject to the following conditions:

- 1) Depiction of a sidewalk along Azalea Road or the submission of a Sidewalk Waiver request;
- 2) Revision of the site plan to illustrate and quantify full compliance with the tree and landscaping requirements of Section 64-4.E. of the Zoning Ordinance;
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- 12) Submission of a revised, approved site plan prior to the signing of the Final Plat;
- 13) Development limited to retail, office, and food uses with a parking ratio of 1 parking space per 300 square feet, or new applications will be required; and
- 14) Full compliance with all other Municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 16, 17 18 DATE July 17, 2014

APPLICANT Asian Square 2 Subdivision

REQUEST Subdivision, PUD, Planning Approval



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Commercial land use is located to the north and south of the site.
Single family residences are located to the west of the site.

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APPLICANT Asian Square 2 Subdivision

REQUEST Subdivision, PUD, Planning Approval

 R-A	 R-3	 T-B	 B-2	 B-5	 MUN	 SD-WH	 T5.1
 R-1	 R-B	 B-1	 B-3	 I-1	 OPEN	 T3	 T5.2
 R-2	 H-B	 LB-2	 B-4	 I-2	 SD	 T4	 T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Commercial land use is located to the north and south of the site.
Single family residences are located to the west of the site.

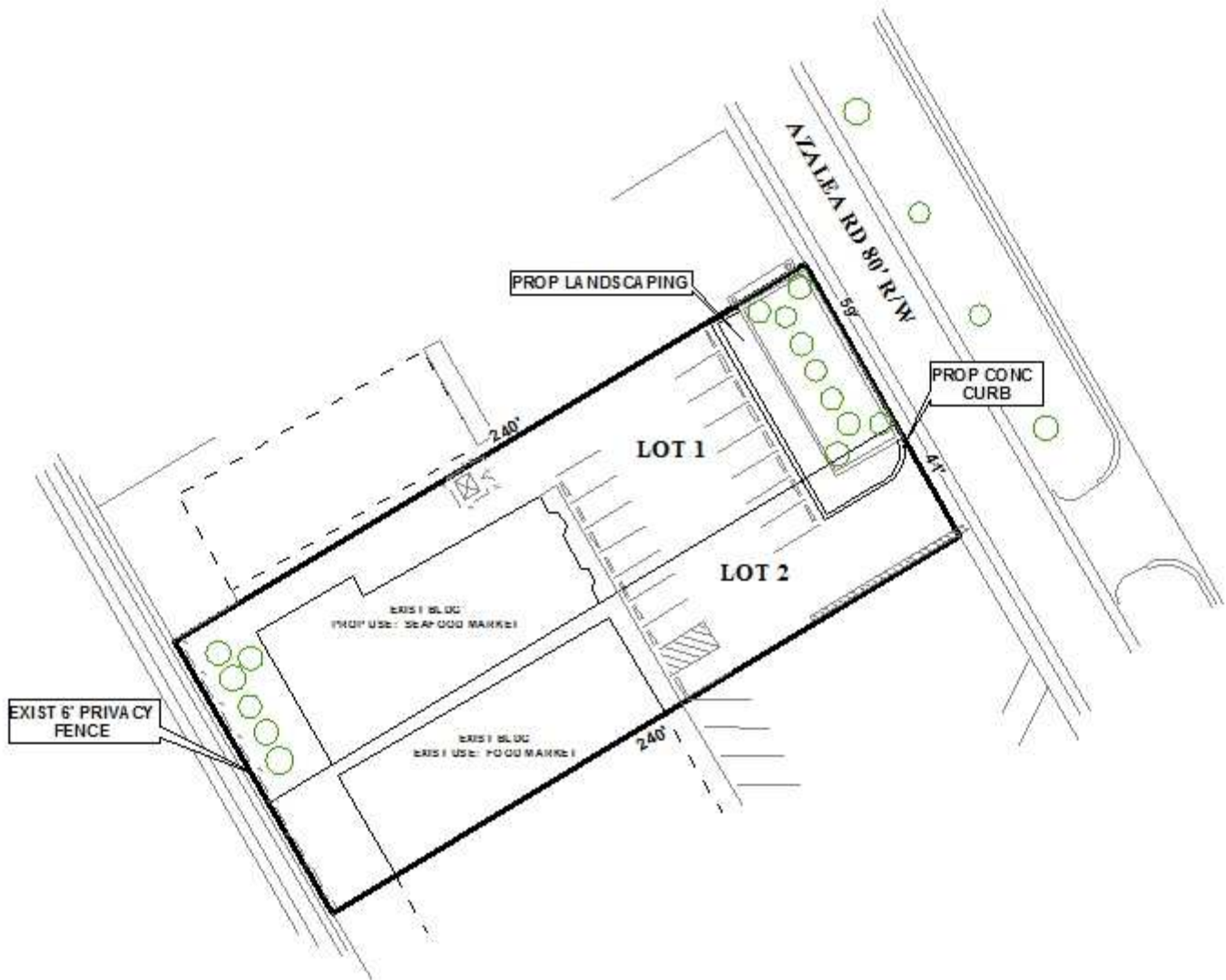
APPLICATION NUMBER 16, 17 18 DATE July 17, 2014

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REQUEST Subdivision, PUD, Planning Approval



SITE PLAN



The site plan illustrates the existing buildings, proposed lot configuration, and proposed landscaping area.

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REQUEST Subdivision, PUD, Planning Approval

