

**PLANNING APPROVAL &
PLANNED UNIT DEVELOPMENT
STAFF REPORT**

Date: April 21, 2005

<u>NAME</u>	Port City Church of Christ
<u>LOCATION</u>	2901 Hillcrest Road (East side of Hillcrest Road, 125 feet \pm south of Medearis Court)
<u>CITY COUNCIL DISTRICT</u>	District 6
<u>PRESENT ZONING</u>	R-1
<u>AREA OF PROPERTY</u>	4.71 acres \pm
<u>CONTEMPLATED USE</u>	Parking lot expansion at an existing church.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediate
<u>ENGINEERING COMMENTS</u>	Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<u>TRAFFIC ENGINEERING COMMENTS</u>	Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.
<u>URBAN FORESTRY COMMENTS</u>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 48" Live Oak Tree located on the South side of Lot and 50" Live Oak Tree located in the South East corner of Lot. Any work on or under these trees is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.
<u>FIRE DEPARTMENT COMMENTS</u>	All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G, as adopted by the City of Mobile on July 6, 2004.

REMARKS

The applicant is seeking Planning Approval to allow a parking lot expansion at an existing church in an R-1, Single-Family Residential district, and is also seeking Planned Unit Development Approval to allow multiple buildings on a single building site. The proposed improvements consist of expanding existing parking to 109 parking spaces, with associated access, a second driveway access to Hillcrest Road, and landscaping and tree planting.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development (PUD) review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

It is very important to note that both the Planning Approval and the Planned Unit Development reviews are site plan specific; therefore any future changes to the site plan, as approved, by current or future applicants must be submitted for Planning Approval and Planned Unit Development review. Thus any future proposed changes to parking, structure expansion, etc., must be reviewed and approved through the planning process.

As the reviews for Planning Approval and Planned Unit Development approval are similar, the analysis/remarks for both applications will be consolidated.

With regard to the general compatibility, the church use and the two structures are existing; the proposal will expand the existing paved parking area to accommodate 109 vehicles, and will include landscaping to meet landscaping and tree planting ordinance requirements. As stated in the Zoning Ordinance, churches are required to provide one parking space for every four (sanctuary) seats. The church has 320 seats, and is therefore required to provide a minimum of 80 parking spaces. The existing paved parking area is not sufficient to meet the requirements for the existing church facilities, as the existing area provides an estimated 15 spaces. The proposed parking layout will provide a total of 109 spaces, 29 more than required by the Zoning Ordinance, and will provide standardized accessways, sidewalks and curbs.

In order for the proposed parking area to fully comply with Section VI.A. of the Zoning Ordinance, the following requirements will have to be met: 1) provision of wheel stops for those parking spaces lacking a curb to stop forward movement of a parked vehicle; 2) provision of lighting for the parking area, that does not shine onto residential properties (use of "full cut-off" fixtures); 3) full compliance with the screening and landscaping requirements for parking areas

in Section VI.A.3.i.; and 4) limitation of the size of vehicles using the parking area to vehicles weighing 8,000 pounds or less.

Regarding the presence of two existing buildings on the site, a PUD is required to permit more than one non-accessory structure to be located on one lot. Continued use of the existing structures in the R-1 zoned district is not anticipated to create incompatibilities for the neighboring residential uses. It will be required, however, that any new construction, whether to expand existing buildings or provide new buildings, be subject to a new PUD and Planning Approval review, as any approval resulting from the current application is site plan specific.

The site contains approximately 36 trees, 12 inches DBH and larger, that the applicant intends to count towards the landscaping and tree ordinance requirements. Therefore the applicant will have to ensure that the trees are protected per the standards contained in Section IV.E.4.c. of the Zoning Ordinance. Existing heritage trees less than 12 inches DBH and at least 3 inches DBH, that the applicant intends to use to fulfill the landscaping and tree ordinance requirements, must also be protected.

The site fronts Hillcrest Road, a major street, which has an existing right-of-way width of 100 feet, and therefore complies with the Major Street Plan. Because Hillcrest is a major street, access management is a concern. The church has one existing curb cut which permits northbound and southbound access to/from Hillcrest Road, and is proposing one new curb cut that will provide limited access to Hillcrest (due to a median on Hillcrest that will prevent southbound access to /from the site). It is recommended that the church be permitted the proposed second access point, but that no additional curb cuts be permitted, and that the median remain intact in order to reduce turning movements to/from southbound Hillcrest Road.

The site plan does not indicate the location of a stormwater detention basin, which will be required for the site. A stormwater detention basin, sized to meet the requirements of the City's Storm Water Drainage Ordinance, must be indicated on the site plan. It should also be noted that neighbors adjacent to the church have contacted Urban Development Department staff to express concern regarding the potential for increased stormwater run-off from the site due to the proposed increase in the paved parking area.

Finally, there is no indication on the site plan as to the proposed location of any dumpster or other waste storage facility. If the applicant utilizes a dumpster, the location of the storage area for the dumpster must be indicated on the site plan, and the location and required screening must comply Section IV.D.9. of the Zoning Ordinance, as well as with all other applicable regulations.

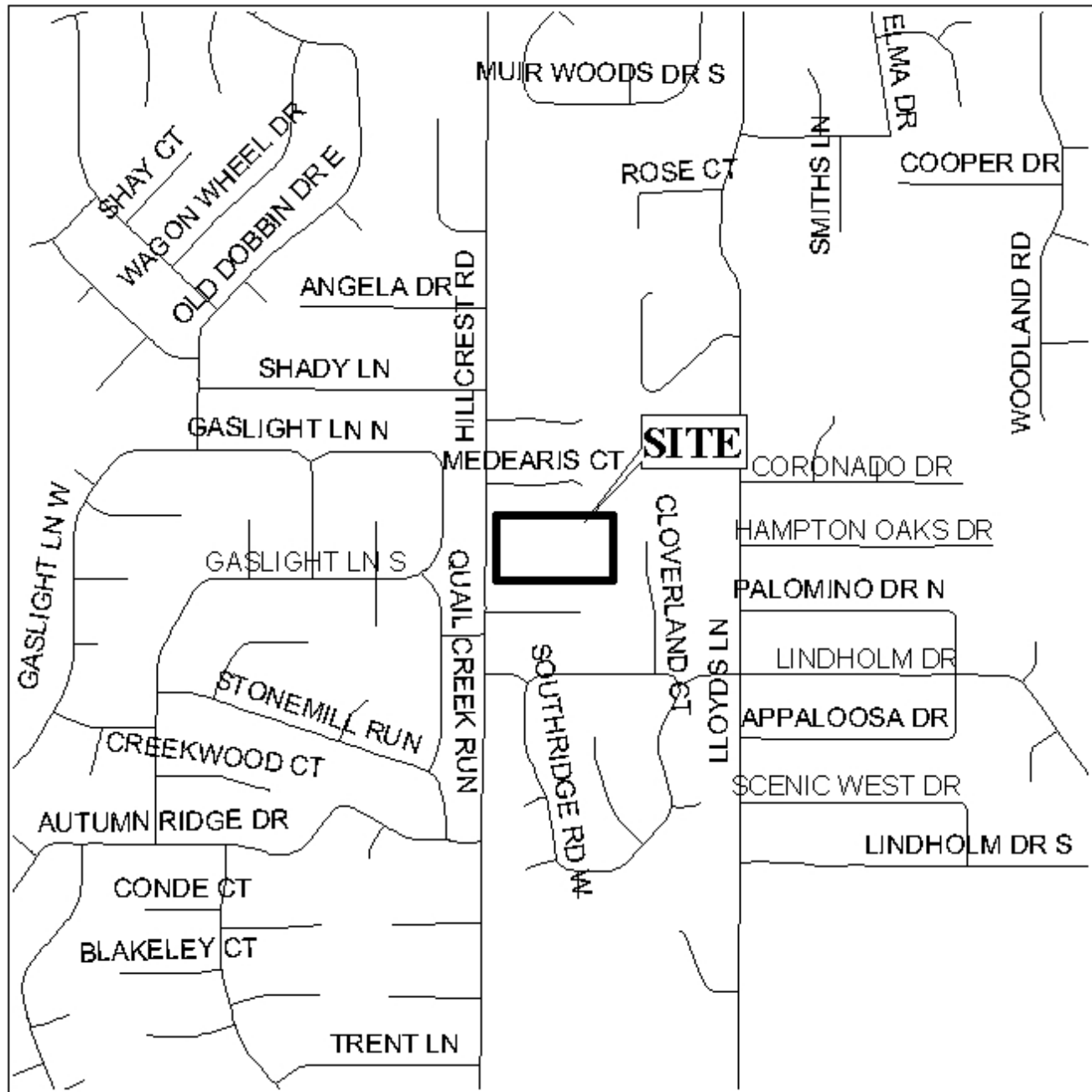
RECOMMENDATION

Planning Approval: based on the preceding, it is recommended that the proposed parking lot expansion be approved, subject to the following conditions: 1) placement of a note on the site plan stating that Planning Approval and PUD approval are site plan specific, and that modifications or additions will require new Planning Approval and PUD applications; 2) provision of landscaping and tree planting in accordance with the quantities and ratios set forth in Section IV.E.3. (Minimum Landscape Requirements) of the Zoning Ordinance, as amended, and comply with Sections IV.E.4. and IV.E.5. of the

Ordinance; 3) full compliance with Section VI.A. (Off-Street Parking Requirements) of the Zoning Ordinance, as amended; 4) placement of a note on the site plan stating that the lot is limited to a maximum of two curb-cuts, one existing and one new, with no breach of the existing median on Hillcrest Road, with the size and location of curb cuts to be approved by Traffic Engineering; 5) full compliance with the Storm Water Drainage Ordinance, including the provision of a storm water detention basin to be indicated on the final site plan; 6) placement of a note on the final site plan stating that *“preservation status is to be given to the 48” Live Oak Tree located on the South side of Lot and the 50” Live Oak Tree located in the South East corner of Lot. Any work on or under these trees is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.”*; and 7) full compliance with all other applicable municipal codes and ordinances.

Planned Unit Development: based on the preceding, it is recommended that the proposed parking lot expansion be approved, subject to the following conditions: 1) placement of a note on the site plan stating that Planning Approval and PUD approval are site plan specific, and that modifications or additions will require new Planning Approval and PUD applications; 2) provision of landscaping and tree planting in accordance with the quantities and ratios set forth in Section IV.E.3. (Minimum Landscape Requirements) of the Zoning Ordinance, as amended, and comply with Sections IV.E.4. and IV.E.5. of the Ordinance; 3) full compliance with Section VI.A. (Off-Street Parking Requirements) of the Zoning Ordinance, as amended; 4) placement of a note on the site plan stating that the lot is limited to a maximum of two curb-cuts, one existing and one new, with no breach of the existing median on Hillcrest Road, with the size and location of curb cuts to be approved by Traffic Engineering; 5) full compliance with the Storm Water Drainage Ordinance, including the provision of a storm water detention basin to be indicated on the final site plan; 6) placement of a note on the final site plan stating that *“preservation status is to be given to the 48” Live Oak Tree located on the South side of Lot and the 50” Live Oak Tree located in the South East corner of Lot. Any work on or under these trees is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.”*; and 7) full compliance with all other applicable municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 14, 15 DATE April 21, 2005

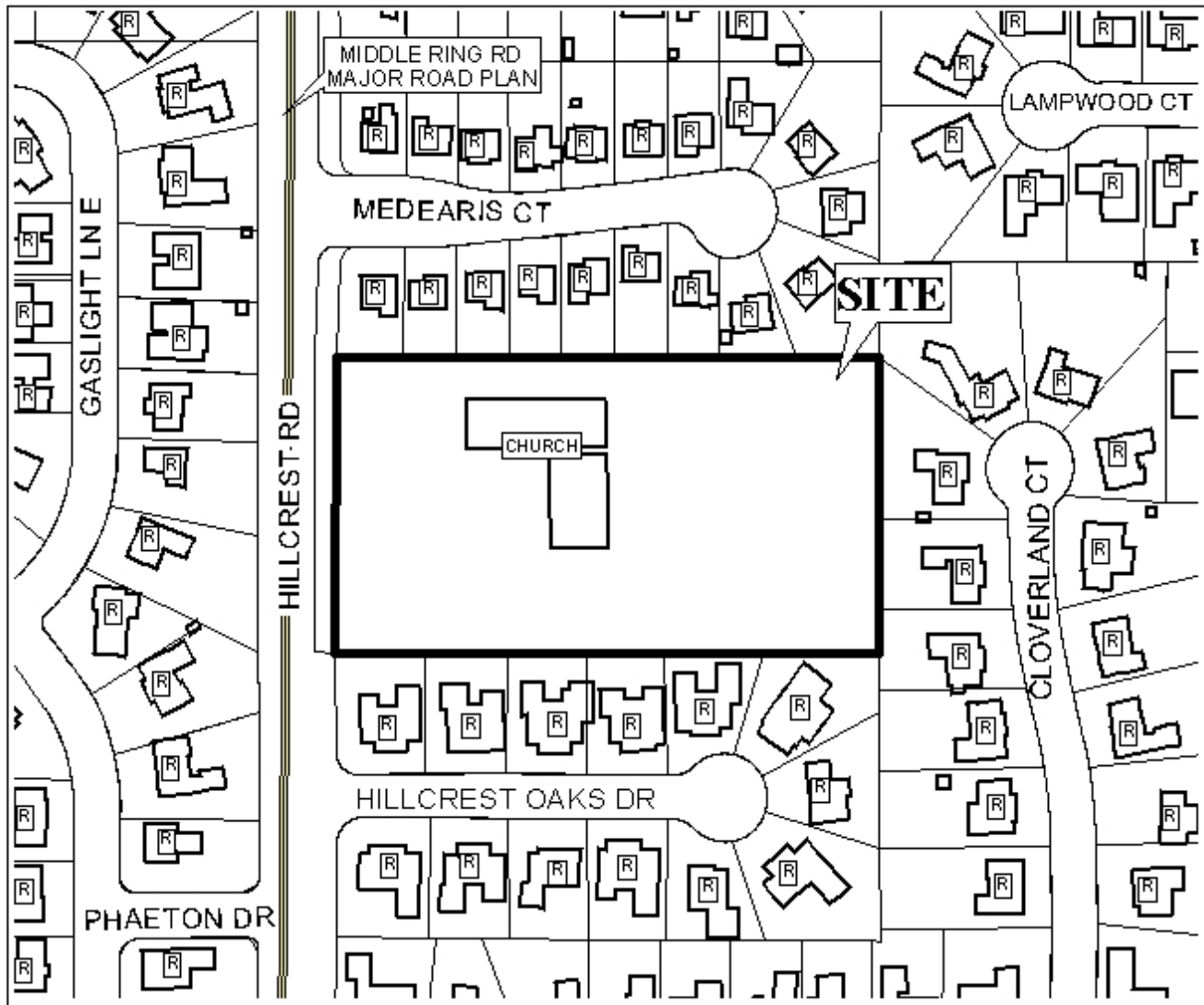
APPLICANT Port City Church of Christ

REQUEST Planning Approval, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single-family residential dwellings.

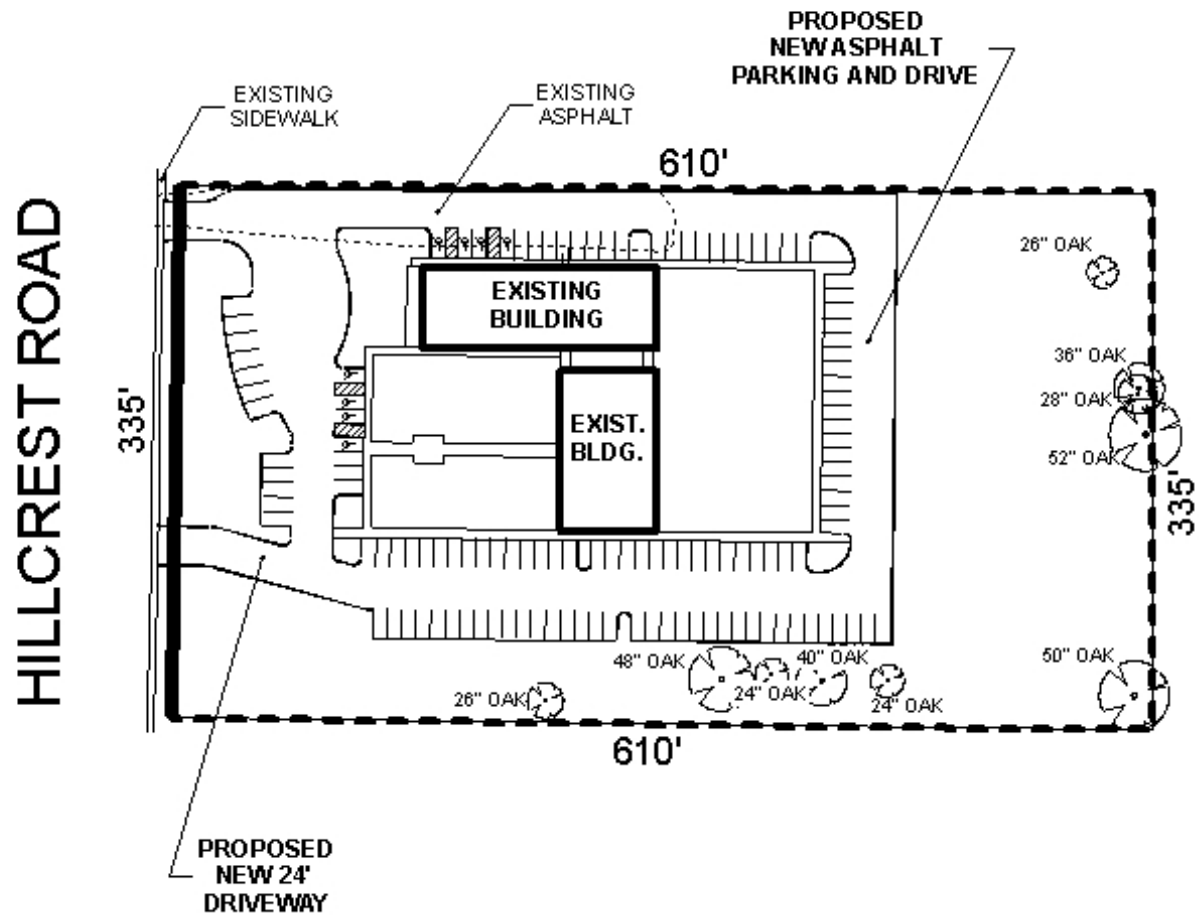
APPLICATION NUMBER 14, 15 DATE April 21, 2005

APPLICANT Port City Church of Christ

REQUEST Planning Approval, Planned Unit Development

LEGEND NTS

SITE PLAN



The site is located on the East side of Hillcrest Road, 125' South of Medearis Court. The plan illustrates the existing structures, paving and trees 24" diameter or larger. The proposed changes to parking and drives are also shown.

APPLICATION NUMBER 14, 15 DATE April 21, 2005
 APPLICANT Port City Church of Christ
 REQUEST Planning Approval, Planned Unit Development



NTS