

PLANNED UNIT DEVELOPMENT STAFF REPORT**Date: July 10, 2003****DEVELOPMENT NAME**

Mulekar Subdivision

LOCATION3221 Spring Hill Avenue
(South side of Spring Hill Avenue, 200'± East of Durant Street)**PRESENT ZONING**

B-3, Community Business

AREA OF PROPERTY

1.6± Acres

CONTEMPLATED USE

Multiple buildings on a single-building site with shared parking and access.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

ENGINEERING**COMMENTS**

Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

A portion of existing lot is already under the '92 Ordinance. All trees on existing lot are protected and require a permit from Urban Forestry for removal or trimming; request that addition to the existing lot to be brought into full compliance with landscaping and trees.

REMARKS

The applicant is proposing development of the site with multiple buildings, including four mini-storage buildings. The Zoning Ordinance requires Planned Unit Development Approval for multiple buildings on a single lot with shared parking and access.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of

adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

There are minor discrepancies on the plan with regard to calculations for required parking versus parking provided, and for the number of trees required versus the number of trees provided or credits claimed.

The calculations indicate that 32 parking spaces are required and 33 are provided. However, a count of the parking spaces illustrated on the plan totaled 47 spaces, which is 46% more than the number of spaces required. The plan indicates eight parallel parking spaces along the West property line and adjacent to a circulation aisle. As these spaces are excess and could impede circulation (especially as the aisle is barely 24' wide for two-way traffic), the elimination of these spaces should have little or no impact on the development.

Also, the calculations for tree requirements indicate 10 credits for existing trees. However, only two existing trees are noted as to size and species for a total of three credits. Therefore, additional information would be required to determine the exact number of tree credits and tree plantings required.

Another discrepancy is that the plan denotes one of the mini-storage buildings as 10' x 60' in text, and 10' x 50' on the dimension lines (building scales at 50'). While this discrepancy may seem minor, it could result in complications during the permitting process.

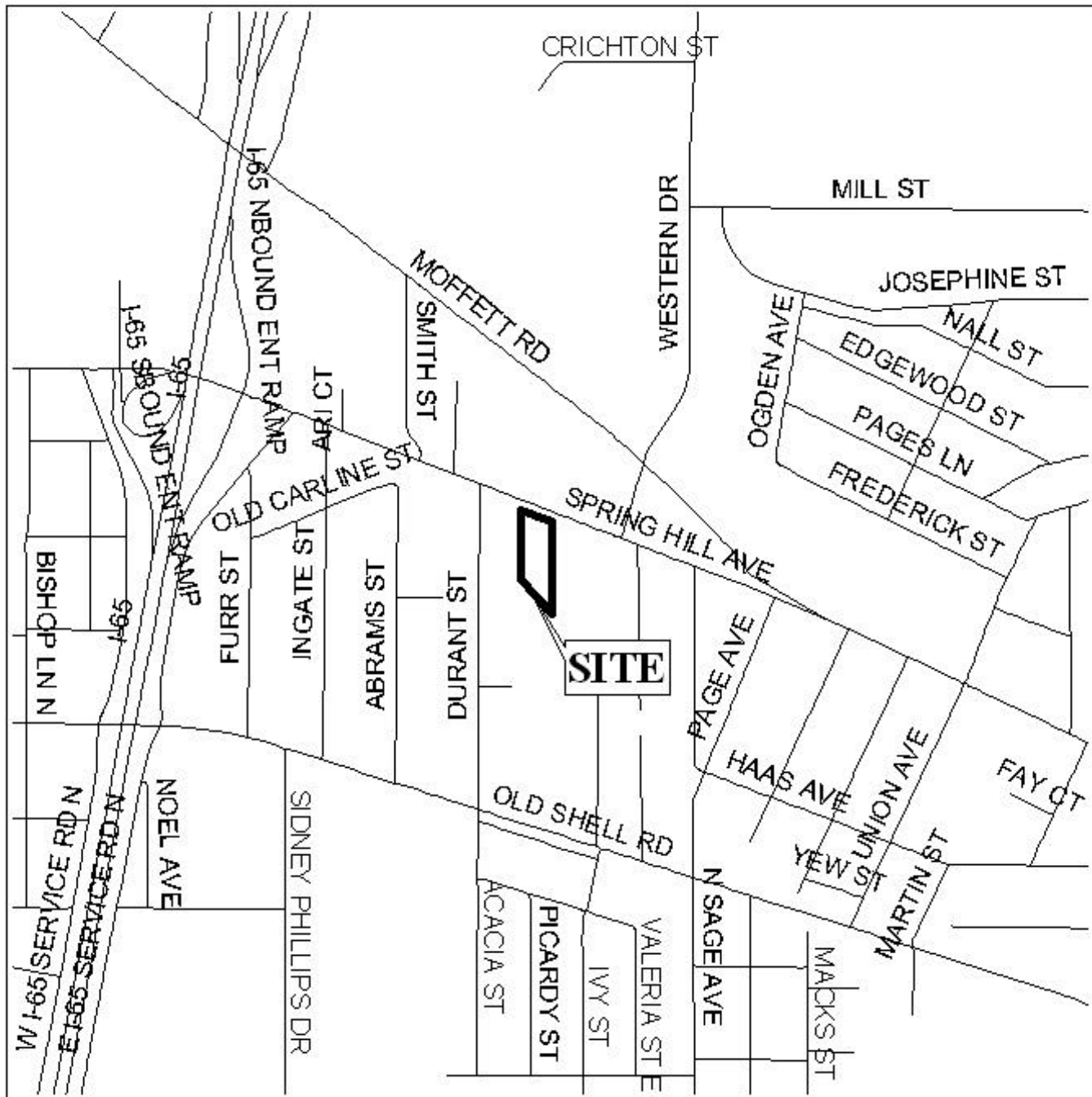
Spring Hill Avenue is a major street as shown on the Major Street Plan and as such requires a minimum right-of-way of 100' and may require either a 40' parallel service road or some alternative method of access management. A recent subdivision application for this site indicated that the right-of-way is 100', in compliance with the Major Street Plan. Approval of the subdivision allowed a maximum of two curb cuts. The plan submitted for PUD Approval illustrates a single two-way curb cut, which provides adequate access to the site.

Revisions to the plan addressing these points may be achieved with little impact on the overall plan.

RECOMMENDATION

Based on the preceding, it is recommended that this application be approved, subject to the following conditions: 1) elimination of the parallel parking spaces along the West property line; 2) full compliance with the landscaping and tree planting requirements of the Zoning Ordinance, including but not limited to accurate depiction and description of trees claimed for credit, and existing trees to be trimmed or removed, to be approved by Urban Forestry; 3) accurate dimensions of all buildings be reflected on the plan; and 4) full compliance with all municipal codes and ordinances.

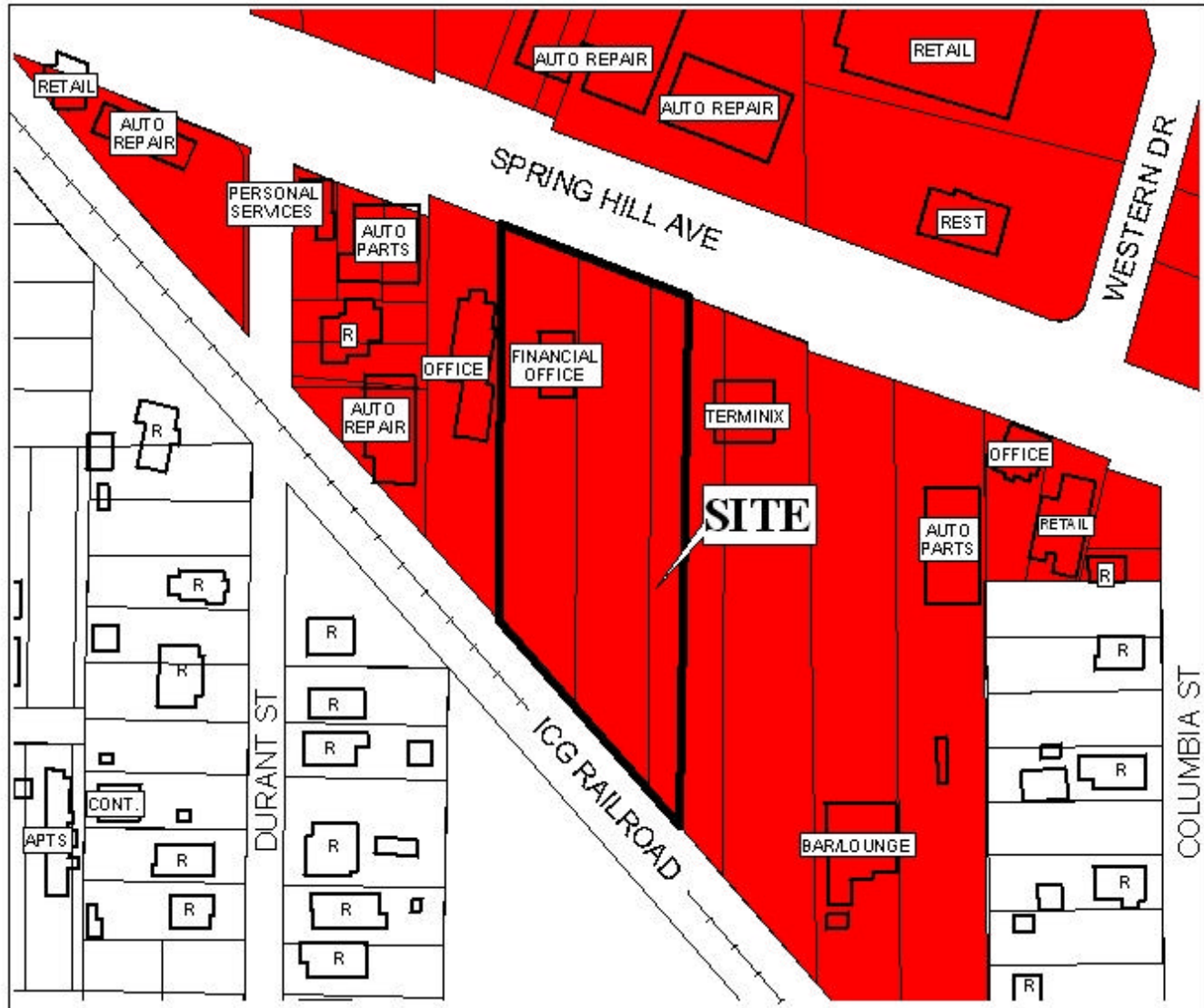
LOCATOR MAP



APPLICATION NUMBER 15 DATE July 10, 2003
APPLICANT Mulekar Subdivision
REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



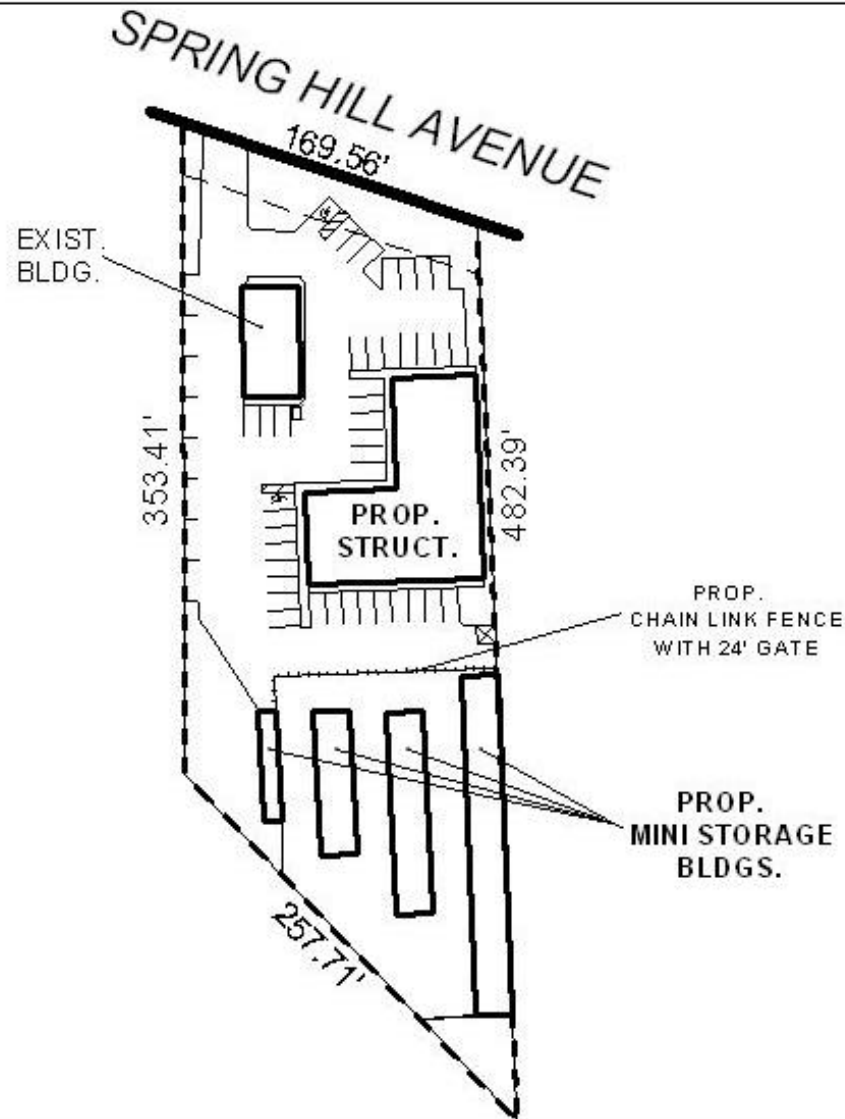
The site is located in an area of mixed land use.

APPLICATION NUMBER 15 DATE July 10, 2003
 APPLICANT Mulekar Subdivision
 REQUEST Planned Unit Development

LEGEND



SITE PLAN



The site is located on the South side of Spring Hill Avenue, 200' East of Durant Street.
The plan illustrates the existing and proposed structures and parking.

APPLICATION NUMBER 15 DATE July 10, 2003

APPLICANT Mulekar Subdivision

USE/REQUEST Planned Unit Development



NTS