

NURSERY ROAD DEVELOPMENT SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWWS Comments: Water and sewer services are available, but Capacity Assurance application for sewer service has not been applied for. MAWWS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering.

The plat illustrates the proposed 27 lot, 22.8 \pm acre subdivision which is located on the North side of Nursery Road, extending North to the South terminus of Azalea Park Court. The applicant states that the subdivision will be served by public water and sanitary sewer systems provided by South Alabama Utilities.

The purpose of this application is to subdivide a metes and bounds parcel into 27 lots. The site under consideration is Lot 1 of a two lot subdivision (Azalea Park Subdivision) approved by the Planning Commission at its June 22, 2007 meeting. The legal description provided with the application includes both Lots 1 and 2 of the Azalea Park Subdivision, recorded July 25, 2007, but as a metes and bounds description. The legal description for the application should be revised to correctly describe the area being subdivided (Lot 1, Azalea Park Subdivision). It should also be pointed out that the Lot 1 subdivision site is 9.3 \pm acres, not the 22.8 \pm acres identified on the application.

The plotted plat scale is 1 inch equals 100 feet, while the labeled scale is 1 inch equals 200 feet. The drawing should be revised to correct this error.

The site fronts Nursery Road, a minor street with a right-of-way of 80-feet. A cul-de-sac is proposed as part of the development, however, the length of the cul-de-sac is approximately 1,150 feet, which greatly exceeds the maximum of 600 feet as stated in Section V.B.6. of the Subdivision Regulations. Furthermore, the length of the cul-de-sac and the diameter of the cul-de-sac do not comply with the minimum requirements of Appendix D of the 2003 International Fire Code, as adopted by the City of Mobile (while the site is outside of the City of Mobile Fire jurisdiction, the design of the Subdivision must comply with the requirements of the International Fire Code – Mobile County has adopted the latest version, 2006). The design of the subdivision should be revised to comply with the design requirements of Appendix D of the International Fire Code, as adopted by the City of Mobile.

It appears that each proposed lot will meet the minimum area requirements of the Subdivision Regulations for lots with public water and sanitary sewer facilities. Access management is a concern, however, due to the size of the lots. Each lot should be limited to one curb-cut onto the

cul-de-sac that is part of the subdivision, with the size, design and location to be approved by the Mobile County Engineering Department. Direct access from any lot onto Nursery Road should be denied.

The plat illustrates that wetlands are present on the property, and thus some parts of the site may be considered environmentally sensitive, therefore, approvals from federal, state, and local agencies will be required prior to the issuance of any permits.

The 25-foot minimum building setback is shown on the plat, but is not labeled. The setback line should be labeled.

This site is located in the County, thus a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the signing of the final plat. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

Common areas proposed for the subdivision. All common areas should be labeled, and a note should be placed on the Final Plat, if approved, stating that maintenance of the common areas, including detention and wetland areas, and any other common areas, are the responsibility of the subdivision's property owners

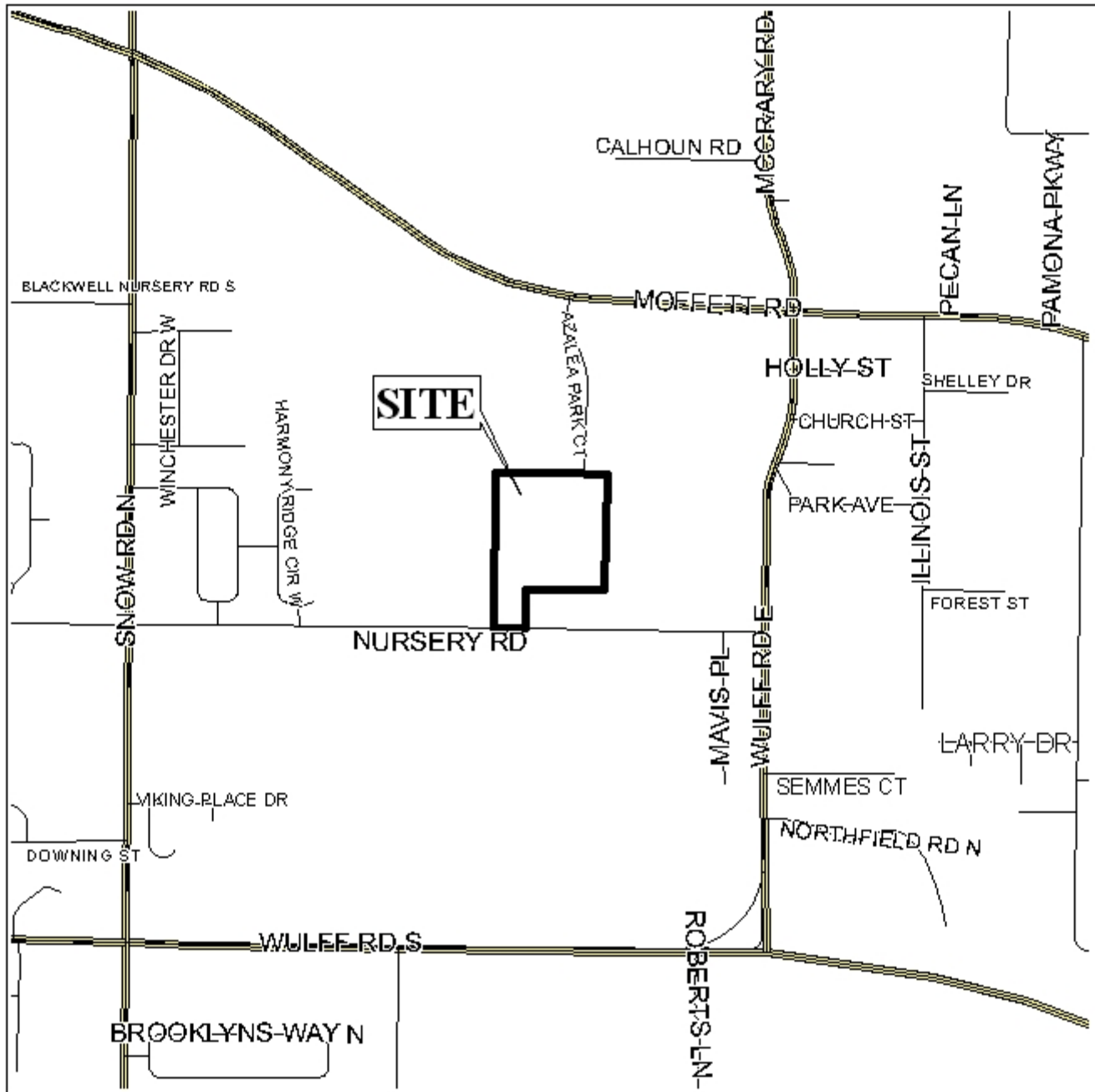
The plat should be revised to show lot size in square feet, or a table provided on the plat with the same information.

With a waiver of Section V.B.6. for the cul-de-sac length, the Subdivision request is recommended for Tentative Approval, subject to the following conditions:

- 1) Correction of the legal description to reflect the recorded lot;
- 2) Correction of the scale issues between the drawing and the labeled scale in the title block;
- 3) Redesign of the subdivision to comply with Appendix D of the 2003 International Fire Code, as adopted by the City of Mobile, and certification by the engineer or surveyor that the subdivision layout and design complies with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, placed as a note on the final plat;
- 4) Labeling of the 25-foot minimum building setback line;
- 5) Placement of a note on the plat stating that each lot is limited to one curb-cut onto the subdivision's cul-de-sac, and that all lots are denied direct access to Nursery Road, with the size, location, and design of all curb-cuts to be approved by the Mobile County Engineering Department;

- 6) Provision of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations;
- 7) Labeling of all common areas, including detention areas and wetlands, and placement of a note on the plat stating that maintenance of all common areas is the responsibility of the property owners;
- 8) Approvals from federal, state, and local agencies regarding wetlands prior to the issuance of any permits or land disturbance activities;
- 9) Placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the signing of the final plat. Certification is to be submitted to the Planning Section of Urban Development and County Engineering; and
- 10) Labeling of each lot in square feet, or provision of a table with the same information.

LOCATOR MAP



APPLICATION NUMBER 15 DATE September 20, 2007

APPLICANT Nursery Road Development

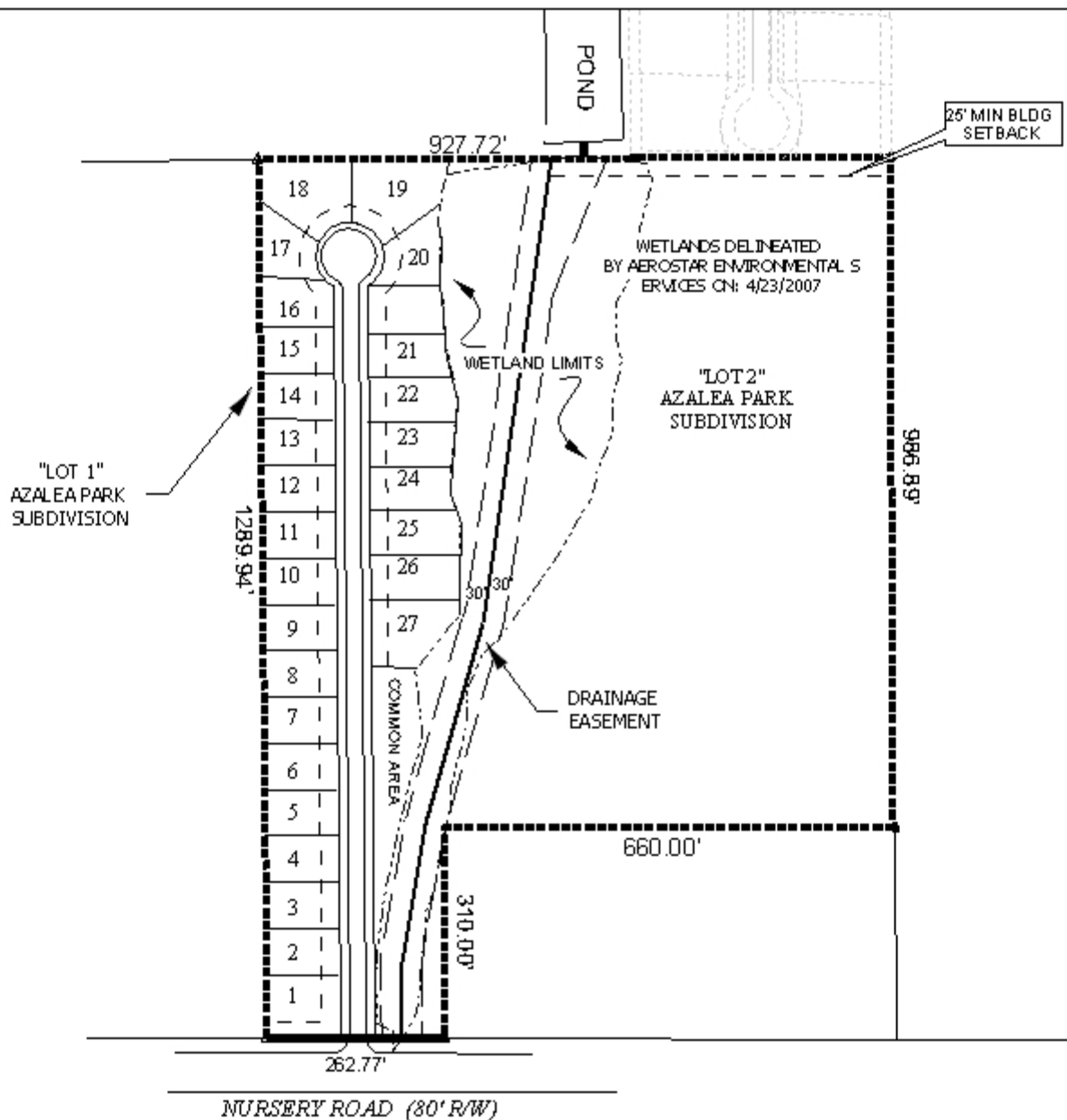
REQUEST Subdivision



NTS

NTS

DETAIL SITE PLAN



APPLICATION NUMBER 15 DATE September 20, 2007
APPLICANT Nursery Road Development Subdivision
REQUEST Subdivision



NTS