

NOEL PLACE SUBDIVISION, RE-SUBDIVISION OF

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer:

1. Add a signature block for the Traffic Engineer.
2. Add a note that states that stormwater detention will be required if there is an addition of more than 4,000 square feet of impervious area on the existing 5.0 ac lot; either on Lot A, on Lot B, or a combination thereof.
3. Provide all other information required for a Final Plat review.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

The plat illustrates the proposed 5.0 acre \pm , 2 lot subdivision which is located at the Northwest corner of Rose Court, 265' \pm West of Lloyds Lane, and is in Council District 6. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to change a common lot line between two lots created by a two-lot subdivision approved by the Planning Commission at its June 1, 2006 meeting. Proposed Lot A is developed, and a house is under construction on proposed Lot B.

The site fronts Rose Court, a City-maintained gravel street. The plat does not show the right-of-way width, however, dedication was provided with the previous Subdivision application. The plat should be revised to provide a minimum and maximum right-of-way width.

The previous Subdivision approval included a condition that there be no future subdivision until Rose Court is improved to City Engineering standards. As this application is only to adjust an interior lot line, not create more lots, it would seem logical to not apply the condition to the application at hand, but instead apply it to any future subdivision of either lot.

Due to the fact that Rose Court is substandard in terms of width and surfacing, a condition was placed on the previous approval limiting each lot to one curb-cut. A house is currently under construction on proposed Lot B, and the site plan submitted with the application indicates a desire for two-curb cuts to allow a circular driveway. As the proposed increase in size of the lot will result in over 200 feet of frontage along Rose Court, an allowance for a second curb-cut may be warranted. Therefore, Lot A should be limited to one curb-cut and Lot B should be limited to

a maximum of two curb-cuts, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.

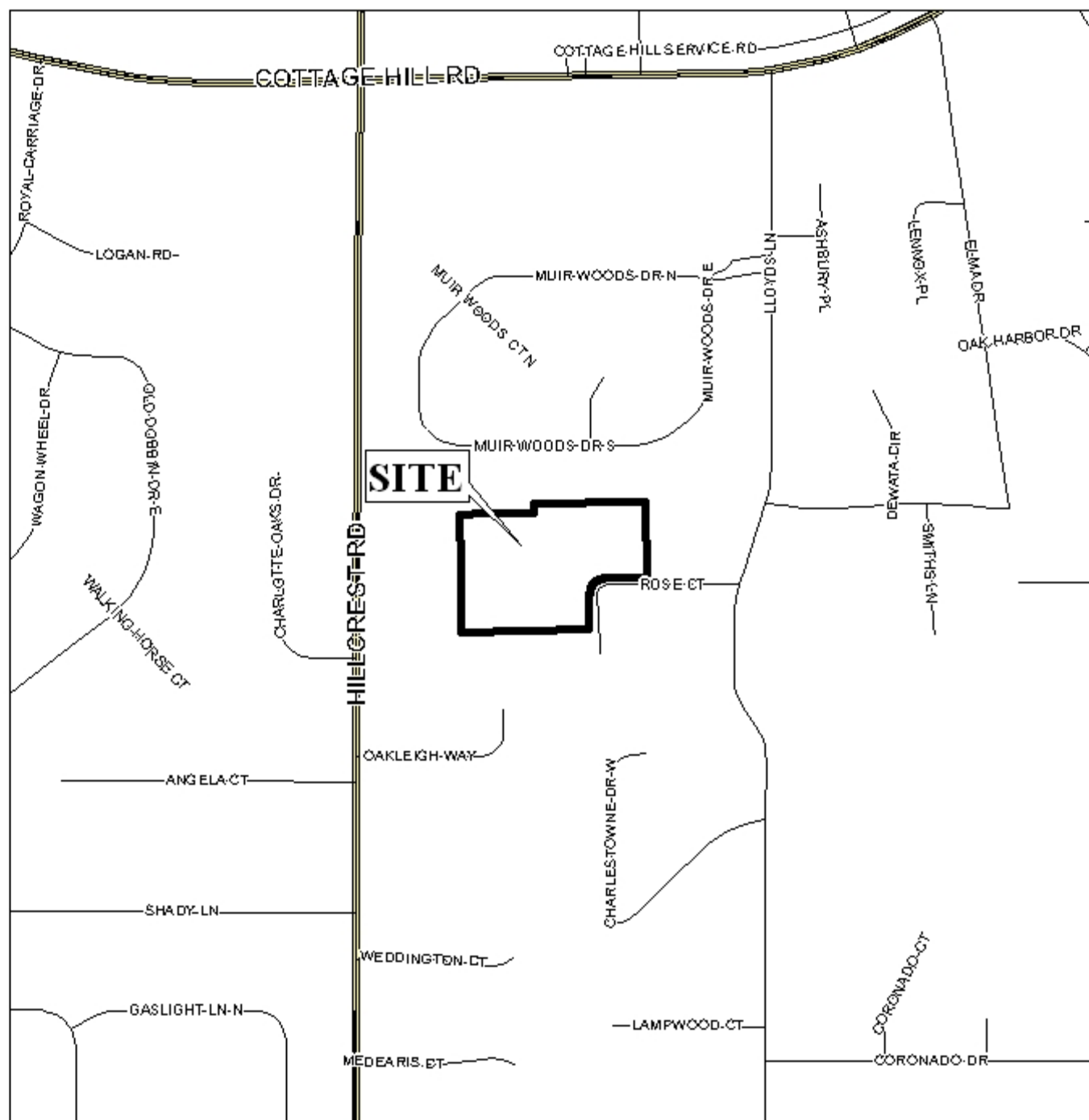
The plat illustrates the 25-foot minimum building setback, which should also be depicted and labeled on the final plat, if approved.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

The plat meets the minimum standards of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that there will be no future subdivision of either lot until Rose Court is improved to City Engineering standards;
- 2) the placement of a note on the final plat stating that Lot A is limited to one curb-cut, while Lot B is limited to two curb-cuts, with the size, location and design to be approved by Traffic Engineering;
- 3) depiction and labeling of the 25-foot building setback on the final plat;
- 4) depiction and labeling of the area of each lot in square feet on the final plat;
- 5) placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities;
- 6) Compliance with Engineering comments (*The following comments should be addressed prior to acceptance and signature by the City Engineer: 1. Add a signature block for the Traffic Engineer. 2. Add a note that states that stormwater detention will be required if there is an addition of more than 4,000 square feet of impervious area on the existing 5.0 ac lot; either on Lot A, on Lot B, or a combination thereof. 3. Provide all other information required for a Final Plat review.*);and
- 7) compliance with Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile*).

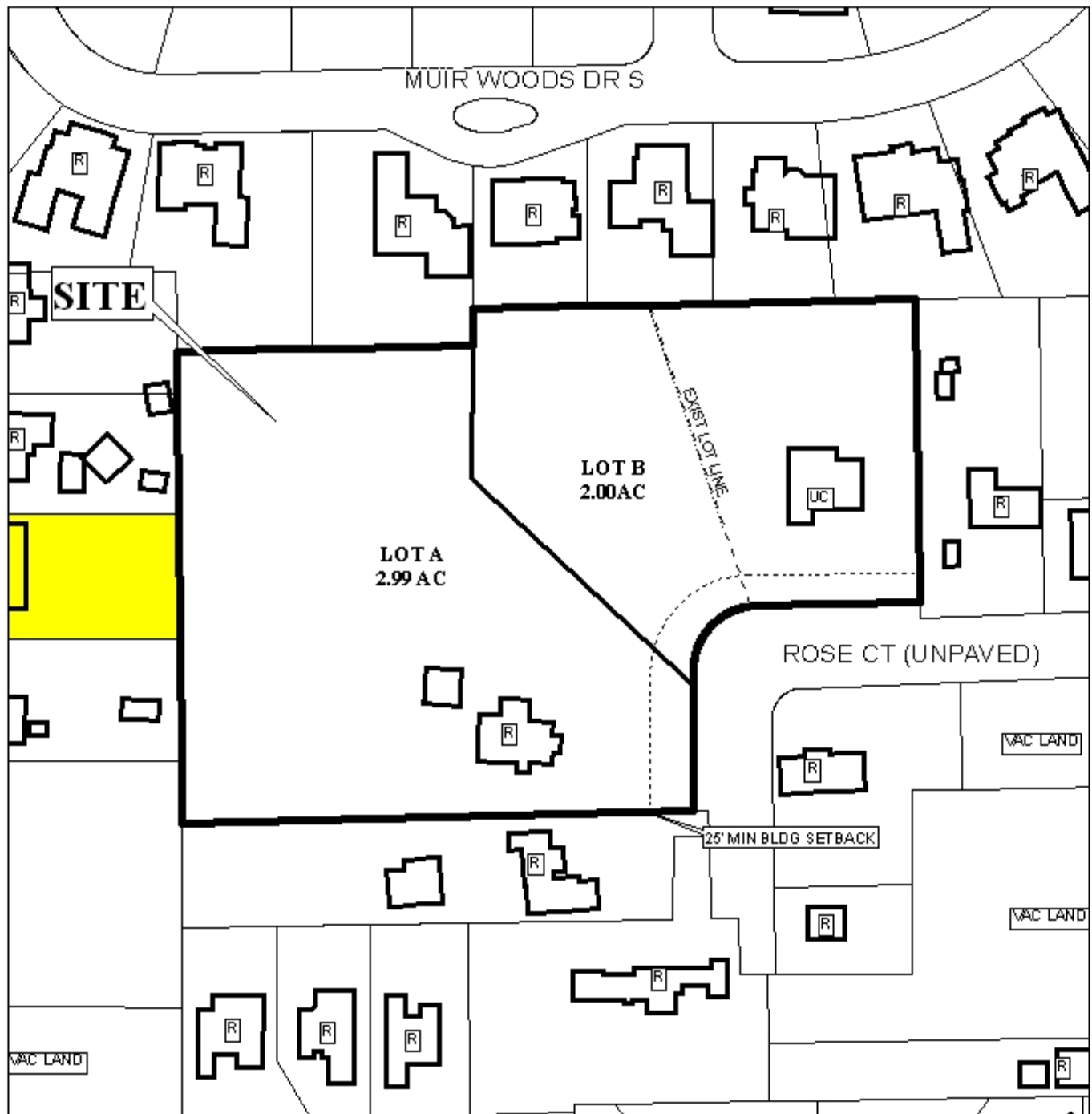
LOCATOR MAP



APPLICATION NUMBER 15 DATE July 5, 2012
 APPLICANT Noel Place Subdivision, Resubdivision of
 REQUEST Subdivision



NOEL PLACE SUBDIVISION, RESUBDIVISION OF



APPLICATION NUMBER 15 DATE July 5, 2012

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

N
NTS

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