

MYERS AT CODY SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Mobile Area Water and Sewer Systems Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 2-lot, 2.1± acres subdivision which is located on the Southwest corner of Cody Road South and Grelot Road. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to create a two-lot subdivision from a metes and bounds parcel.

The site fronts Cody Road South and Grelot Road, both planned major streets, which have existing right-of-ways illustrated as variable; the Major Street Plan requires a minimum 100-foot right-of-way. Therefore, the dedication of sufficient right-of-ways to provide 50-feet from the centerlines of Cody Road South and Grelot Road as well as the appropriate radius should be required. The 25-foot minimum building setback line should be revised to reflect any required dedication.

As a means of access management, the placement of a note on the Final Plat stating that Lot 1 is limited to the existing curb cuts to Cody Road South and Grelot Road should be required. Additionally, Lot 2 illustrates approximately 120-feet along Cody Road South should be limited to one curb cut, with the size, design and location to be approved by County Engineering and conform to AASHTO standards.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

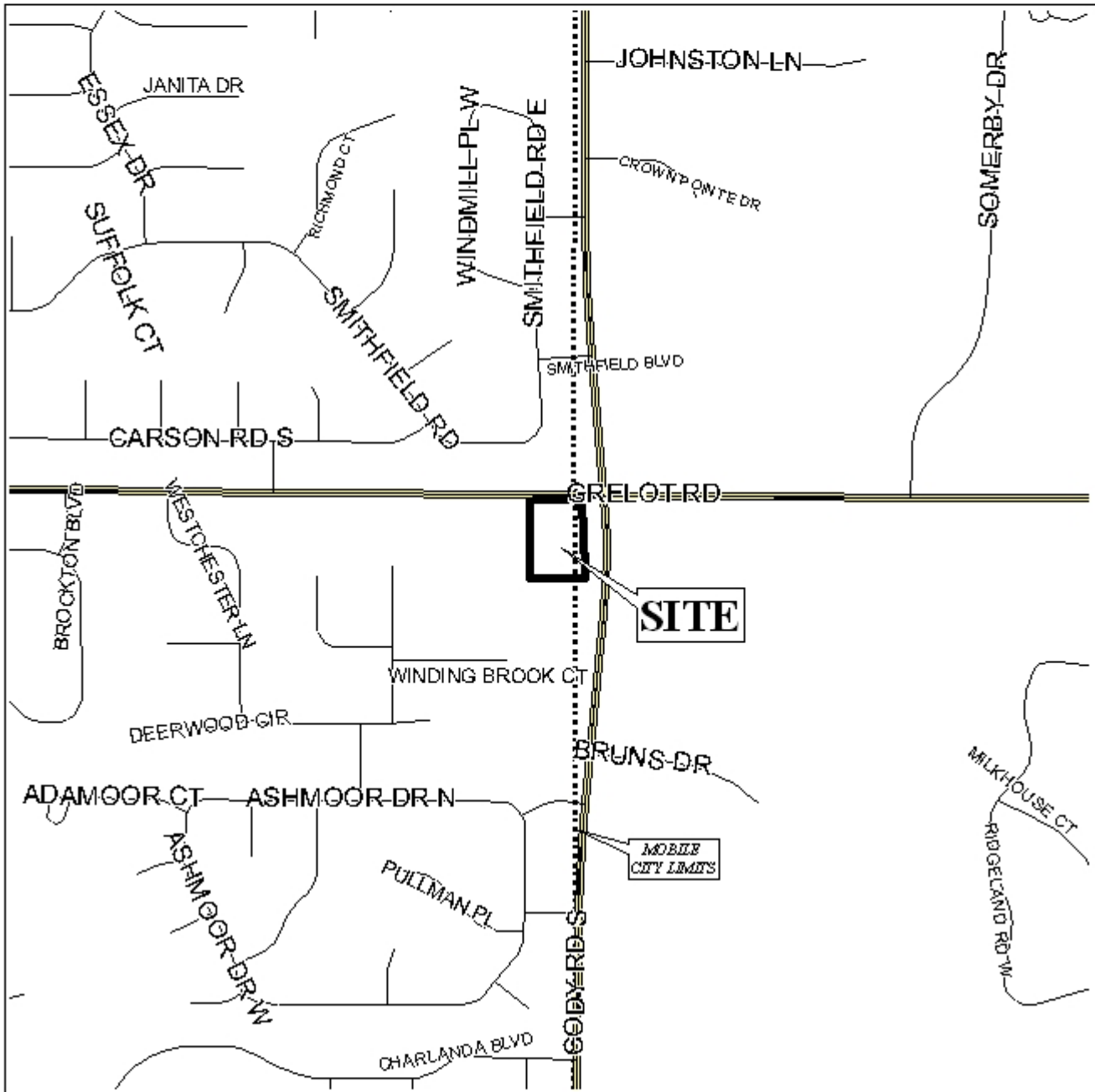
The site is located in the county; therefore, a note should be placed on the final plat stating that any lots developed commercially and adjoining residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations. While the site is located in the county, compliance with the City of Mobile storm water and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's storm water and flood control ordinances should be submitted to the Mobile County

Engineering Department and the Planning Section of Mobile Urban Development prior to the issuance of any permits.

Based on the preceding, the application meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) the dedication of adequate right-of-way to provide 50-feet from the centerlines of Cody Road South and Grelot Road, and revision of the 25-foot minimum building setback line to reflect dedication;
- 2) the placement of a note on the final plat stating that Lot 1 is limited to the existing curb cuts to Cody Road South and Grelot Road;
- 3) the placement of a note on the final plat stating that Lot 2 is limited to one curb cut to Cody Road South, with the size, design and location to approved by County Engineering and conform to AASHTO standards;
- 4) the dedication of appropriate radius at the intersection of Cody Road South and Grelot Road;
- 5) placement of a note on the plat / site plan stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 6) submission of a letter from a licensed engineer certifying compliance with the City of Mobile's storm water and flood control ordinances to the Mobile County Engineering department and the Planning Section of Mobile Urban Development prior to issuance of any permits;
- 7) labeling of each lot with its size in square feet; and
- 8) the placement of a note on the final plat stating that any property that is developed commercially and adjoins residentially developed property shall provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

LOCATOR MAP



APPLICATION NUMBER 15 DATE January 17, 2008

APPLICANT Myers at Cody Subdivision

REQUEST Subdivision



NTS

MYERS AT CODY SUBDIVISION



APPLICATION NUMBER 15 DATE January 17, 2008

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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