

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: December 18, 2014**

<u>DEVELOPMENT NAME</u>	Mobile Gas Subdivision, Unit One, Resubdivision of Lot 1
<u>SUBDIVISION NAME</u>	Mobile Gas Subdivision, Unit One, Resubdivision of Lot 1
<u>LOCATION</u>	2890 Dauphin Street (North side of Dauphin Street, 760'± East of Sage Avenue).
<u>CITY COUNCIL DISTRICT</u>	District 1
<u>AREA OF PROPERTY</u>	2 Lots / 4.0 ± acres
<u>CONTEMPLATED USE</u>	Planned Unit Development Approval to shared drives and parking between two building sites, and Subdivision approval to create 2 lots.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediately

**ENGINEERING
COMMENTS**

Subdivision: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- E. Provide the Surveyor's Certificate and Signature.
- F. Provide the Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- G. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Planned Unit Development: ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. The proposed development must comply with all Engineering Department Policy Letters.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

REMARKS

The applicant is seeking Planned Unit Development Approval to shared drives and parking between two building sites, and Subdivision approval to create 2 lots. The site is located in Council District 1, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to create two lots from one existing legal lot. The applicant proposes to construct expand an existing medical clinic and add additional parking.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is zoned B-3, Community Business District, thus medical clinic is allowed by right. It is bounded to the West and North by Herndon Park and undeveloped land, both in R-1, Single Family Residential Districts. To the East and South are commercial uses within B-3 districts.

The site utilizes access easements through three adjacent lots to provide access to and from Dauphin Street.

The proposed expansion of the medical clinic will add approximately 9,670 square feet, with a resulting total of 23,307 square feet of office and clinic area. A building of this size will require 78 parking spaces, however, a total of 266 parking spaces will be provided after the 131 parking space expansion.

It appears that the building expansion will result in the new East face of the building being on or crossing the common property line that will be created by the Subdivision: this may trigger certain Building and Fire requirements regarding fire separation.

As the applicant will be adding more than 25 parking spaces, full compliance with Sections 64-4.A.2., 64-6.A.3.c. and 64-6.A.8. of the Zoning Ordinance will be required for any new parking, exterior building or site illumination lighting. A photometric plan will be required at the time of submission for land disturbance permits.

The existing building was constructed in 1993, thus the site was subject to the tree and landscaping requirements of the Zoning Ordinance. It appears that the existing site no longer complies with the approved tree plan, thus the site must be brought back into full compliance, providing through new plantings or tree credits the following minimums: 69 trees total, of which at least 28 must be overstory trees. A minimum landscape area of 20,909 square feet will also be required on-site.

If new dumpsters are proposed, or if existing dumpsters are relocated during the project, they must fully comply with the requirements of Section 64-4.D.9. of the Zoning Ordinance.

Buffers, in compliance with Section 64-4.D.1. of the Zoning Ordinance, will be required where the site abuts residentially zoned property.

Regarding the proposed Subdivision, each lot will meet the minimum size requirements of the Subdivision Regulations. As the lots have no direct frontage onto a public or private street, a waiver of Section V.D.4. of the Subdivision Regulations. Curb-cuts should be limited to an approved Planned Unit Development, with associated ingress and egress easements.

There appear to be ingress/egress and utility easements on both proposed lots. A note should be placed on the final plat, if approved, stating that no permanent structures may be placed within any ingress/egress or utility easements.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Finally, it appears that there are existing accessible parking spaces depicted on the site plan. As the parking for the overall site is being expanded, the applicant must ensure that a sufficient number of accessible parking spaces are provided, and that all spaces, including existing spaces, comply with accessibility requirements: compliance includes the provision of striped access aisles, accessible routes, and signage noting accessible and van accessible parking spaces. Information regarding accessible site design and compliance may be found in Chapter 11 of the 2009 International Building Code, and ICC/ANSI 117.1.

RECOMMENDATION

Subdivision: Based upon the preceding, and with a waiver of Section V.D.4. of the Subdivision Regulations, this application is recommended for tentative approval, subject to the following conditions:

- 1) Placement of a note on the final plat stating: *“Access to a public road and associated curb-cuts is limited to an approved Planned Unit Development and associated ingress / egress easements;”*
- 2) Placement of a note on the final plat stating: *“No permanent structures may be placed within any ingress/egress or utility easements;”*
- 3) Compliance with Engineering comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
A. *Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.* B. *Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.* C. *Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance*

permit. D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. E. Provide the Surveyor's Certificate and Signature. F. Provide the Owner's (notarized), Planning Commission, and Traffic Engineering signatures. G. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.)

- 4) *Compliance with Traffic Engineering comments (Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 5) *Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 6) *Compliance with Fire comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.);*
- 7) *Submission of a revised PUD site plan prior to the signing of the final plat; and*
- 8) *Completion of the Subdivision process prior to the request for building permits.*

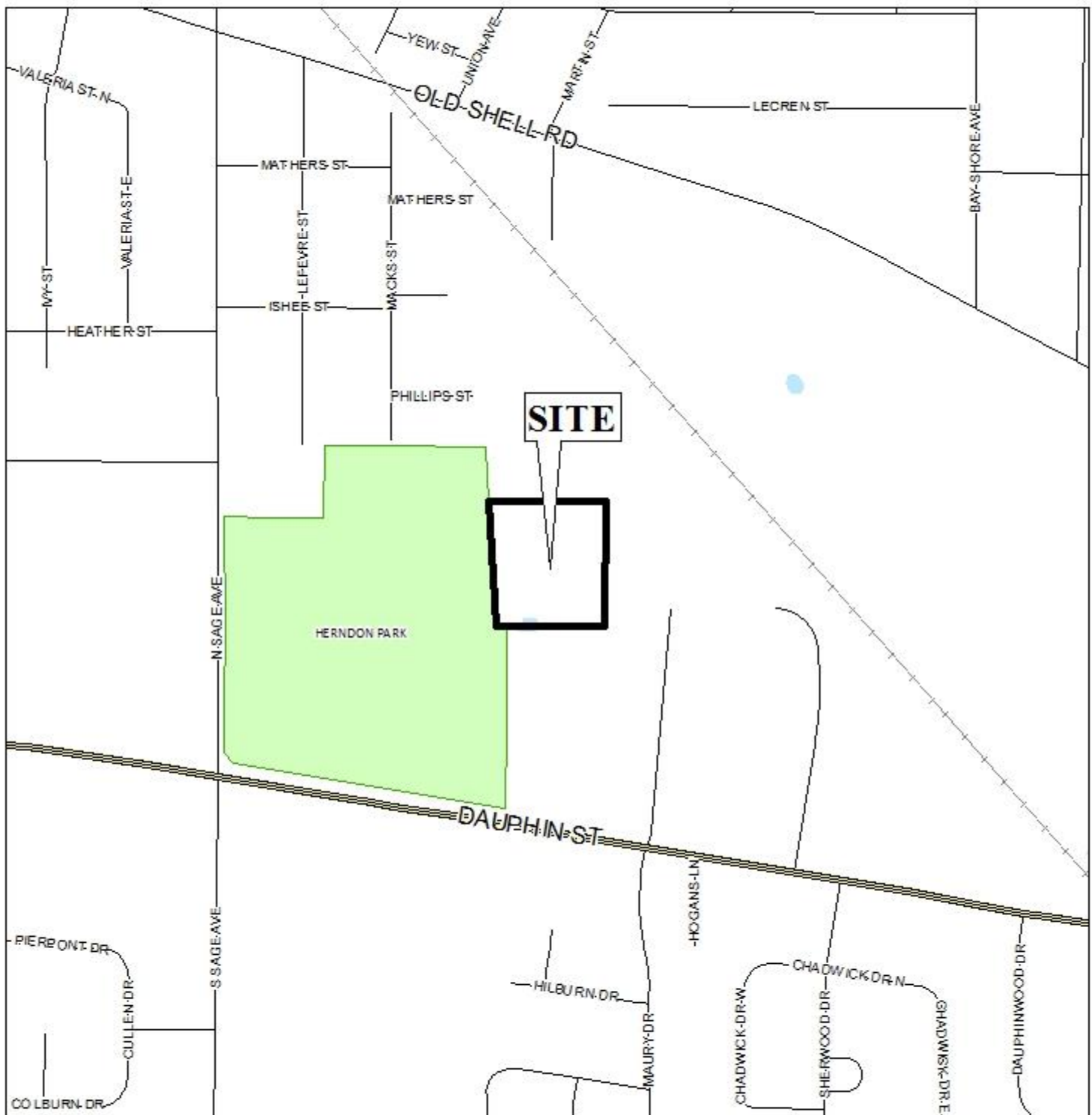
Planned Unit Development: Based upon the preceding, this application is recommended for approval, subject to the following conditions:

- 1) *Development of the site limited to an approved PUD;*
- 2) *Revision of the site plan to depict accessible parking spaces and associated site improvements, as may be required by in Chapter 11 of the 2009 International Building Code, and ICC/ANSI 117.1.;*
- 3) *Revision of the site plan to depict buffers in compliance with Section 64-4.D.1. of the Zoning Ordinance, where the site abuts residentially zoned land;*
- 4) *Provision of a compliant tree and landscape plan at time of submission for land disturbance, illustrating full compliance with the Zoning Ordinance;*
- 5) *Full compliance with Sections 64-4.A.2., 64-6.A.3.c. and 64-6.A.8. of the Zoning Ordinance, including the provision of a photometric plan at time of submission for land disturbance;*
- 6) *Any new or relocated dumpsters on site to fully comply with the requirements of Section 64-4.D.9. of the Zoning Ordinance;*
- 7) *Compliance with Engineering comments (ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be*

submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The proposed development must comply with all Engineering Department Policy Letters.);

- 8) *Compliance with Traffic Engineering comments (Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 9) *Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 10) *Compliance with Fire comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.);*
- 11) *Submission of a revised PUD site plan prior to the signing of the final plat; and*
- 12) *Full compliance with all municipal codes and ordinances.*

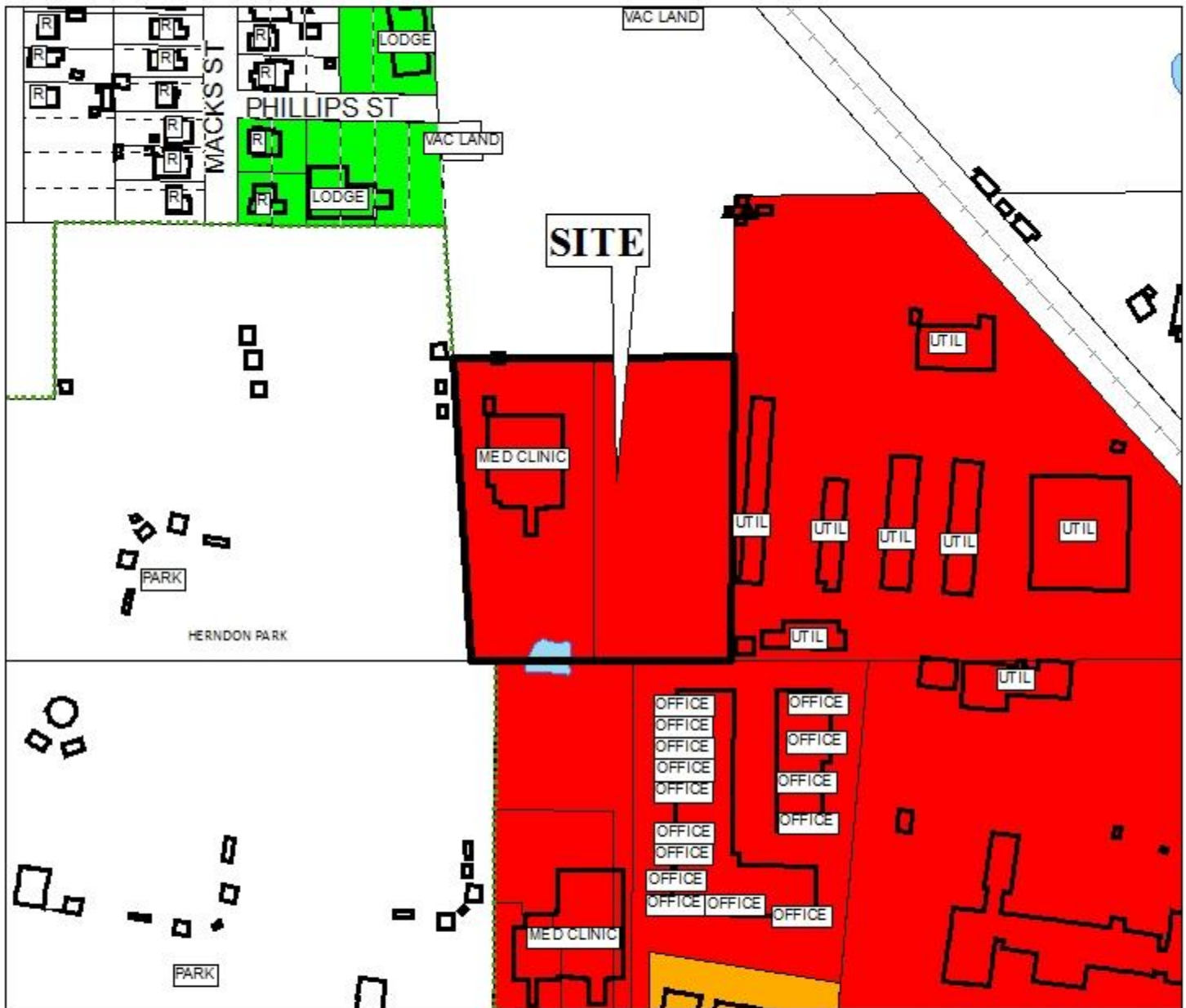
LOCATOR MAP



APPLICATION NUMBER 15 DATE December 18, 2014
APPLICANT Mobile Gas Subdivision, Unit One, Resubdivision of Lot 1
REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by utilities and offices.

APPLICATION NUMBER 15 DATE December 18, 2014
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 REQUEST Subdivision, Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

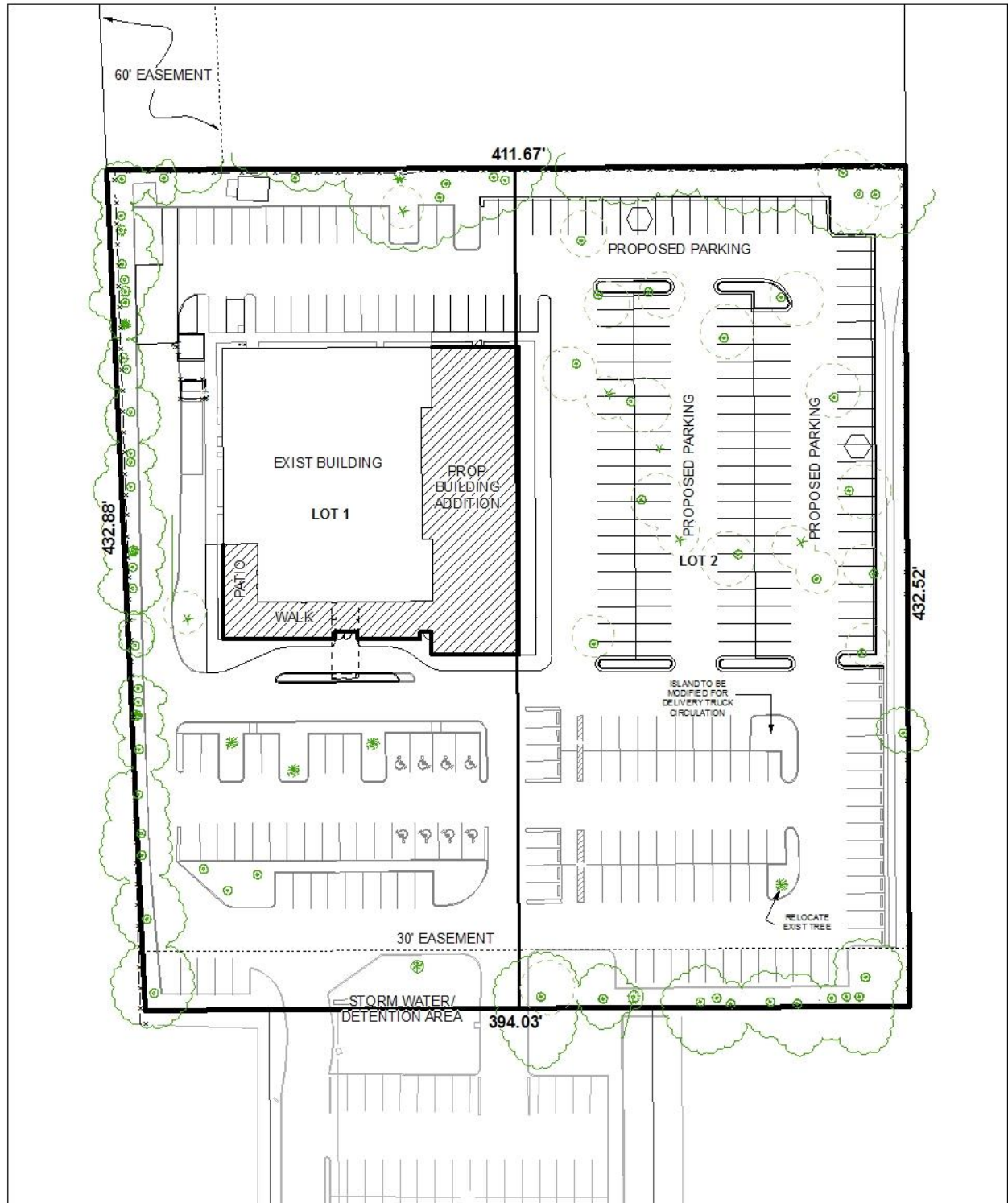


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SITE PLAN



The site illustrates the existing building, proposed building addition, existing parking, proposed parking, easements, and trees.

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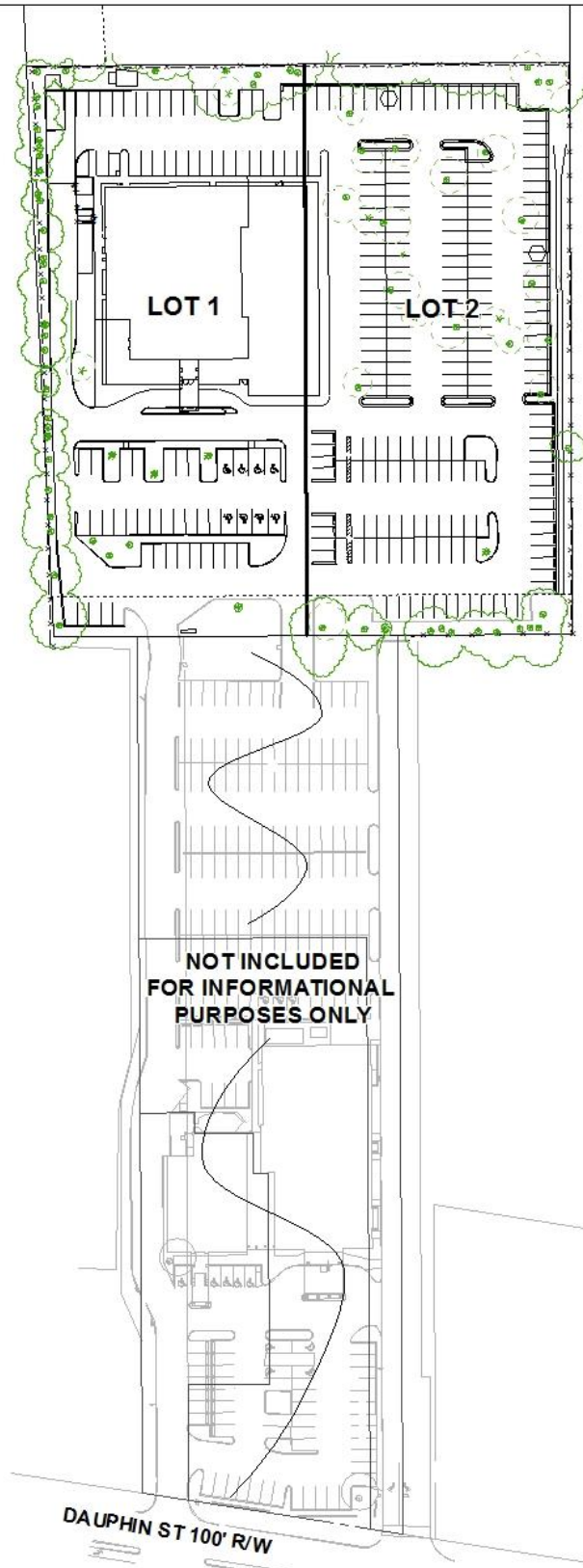
APPLICANT Mobile Gas Subdivision, Unit One, Resubdivision of Lot 1

REQUEST Subdivision, Planned Unit Development



NTS

DETAIL SITE PLAN



APPLICATION NUMBER 15 DATE December 18, 2014

APPLICANT Mobile Gas Subdivision, Unit One, Resubdivision of Lot 1

REQUEST Subdivision, Planned Unit Development



NTS