

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: March 5, 2015**

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| <u>DEVELOPMENT NAME</u> | Jack C. Carney and Clare K. Carney |
| <u>LOCATION</u> | 194 Rochester Place (West side of Rochester Place, 115'± North of Airport Boulevard) |
| <u>CITY COUNCIL DISTRICT</u> | District 5 |
| <u>PRESENT ZONING</u> | R-1, Single-family Residential District |
| <u>AREA OF PROPERTY</u> | 11,500± sq. ft. |
| <u>CONTEMPLATED USE</u> | Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow a reduced front yard setback. |
| <u>TIME SCHEDULE FOR DEVELOPMENT</u> | Not specified |
| <u>ENGINEERING COMMENTS</u> | No comments |
| <u>TRAFFIC ENGINEERING COMMENTS</u> | The lot is limited to one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. |
| <u>URBAN FORESTRY COMMENTS</u> | Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). |
| <u>FIRE DEPARTMENT COMMENTS</u> | All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. |
| <u>REMARKS</u> | The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow a reduced front yard setback. More specifically, the applicant desires to reduce the previously approved front |

yard setback from 20' along the cul-de-sac and 25' along Rochester Place, to 17.5' along the entire street frontage. It is important to note that although Planned Unit Development Approval would typically allow a reduced front yard setback, the Final Plat was recorded in April 2010 with 20' and 25' setbacks, respectively. As such, a Subdivision Application to the Planning Commission to address the reduction in the front yard setback is also required.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is **site plan specific**, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The site is zoned R-1, Single-family Residential, and this district allows up to 35% site coverage and a 25' front-yard setback and 8' side and rear yard setbacks. The site plan depicts the existing 11,500± sq. ft. lot and planned 2,658± sq. ft. residence and, as proposed, the site coverage would be approximately 23%±. The applicant references the tough configuration of the lot as a result of being located along a cul-de-sac, for the need for a reduced front yard setback. All other setbacks and aspects of development in an R-1 district would appear to comply with Section 64-3.C.1. of the Zoning Ordinance.

The applicant's request for a reduced front yard setback would not appear out of character with the neighborhood, as the Planning Commission recently approved reduced setbacks for the adjacent property owner across Rochester Place at its March 7, 2013 meeting.

It should be pointed out that the site plan depicts a 7.5 drainage and utility easement along the lot's western lot line. As such, a note should be placed on the site plan stating that no permanent structure(s) can be placed or constructed in any easement.

RECOMMENDATION

Recommended this application be heldover to the meeting of April 2nd, with revisions due by March 9th, to allow the applicant to address the following:

- 1) Submission of a Subdivision Application to the Planning Commission to address the reduction in the front yard setback.

LOCATOR MAP



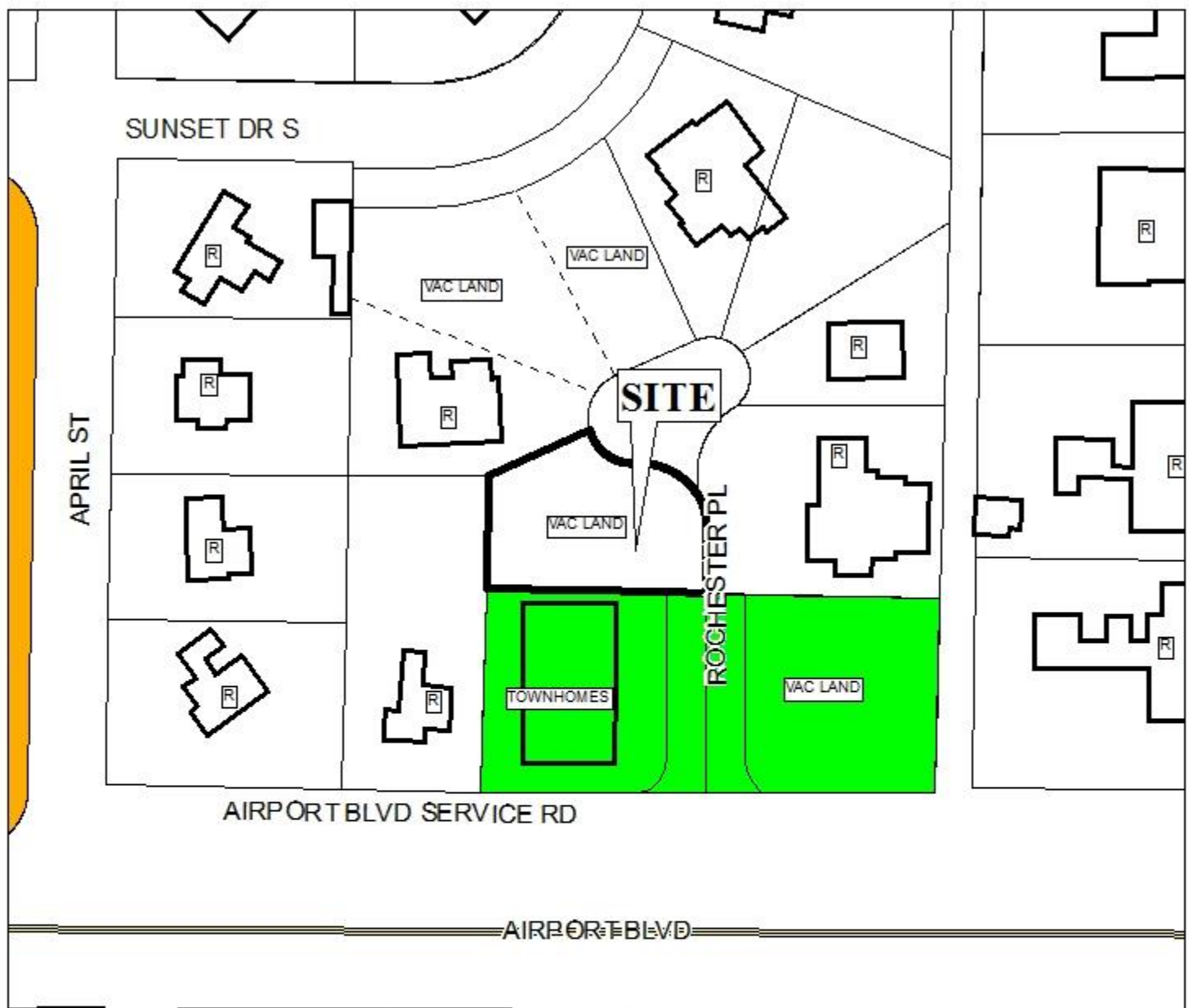
APPLICATION NUMBER 15 DATE March 5, 2015

APPLICANT Jack Carney & Clare Carney

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units.

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| R-A | R-3 | T-B | B-2 | B-5 | MUN | SD-WH | T5.1 |
| R-1 | R-B | B-1 | B-3 | I-1 | OPEN | T3 | T5.2 |
| R-2 | H-B | LB-2 | B-4 | I-2 | SD | T4 | T6 |



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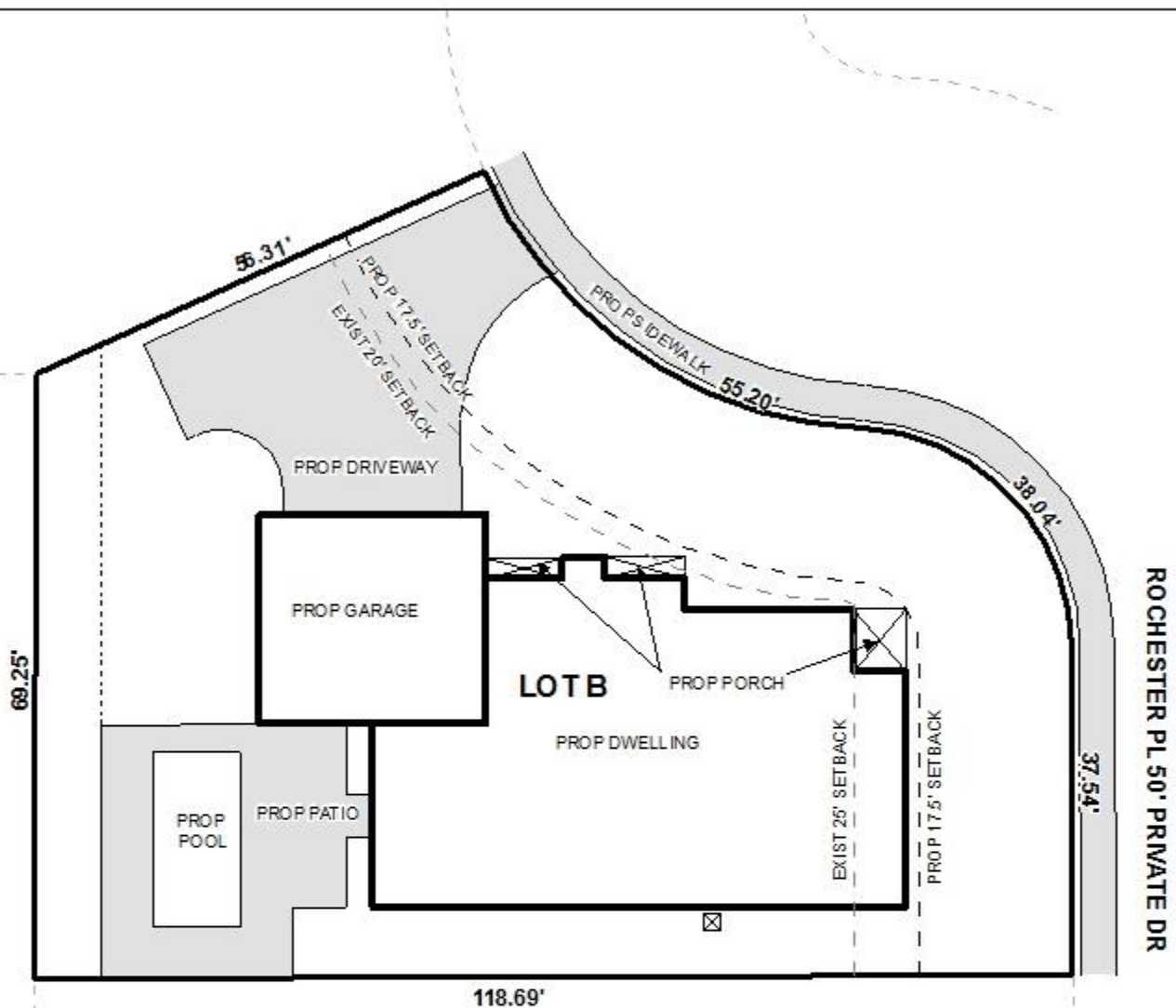
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SITE PLAN



The site plan illustrates the proposed building, pool, drive, existing setback, and proposed setback.

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