

**PLANNING APPROVAL STAFF REPORT****Date: February 17, 2005****APPLICANT NAME**

The House of Joshua Christian Center Church, Inc.  
(Rev. Joseph Day, Agent)

**LOCATION**

2727 Mill Street  
(South side of Mill Street, 350'± East of Bay Shore Avenue).

**CITY COUNCIL  
DISTRICT**

District 1

**PRESENT ZONING**

R-1, Single-Family Residential

**AREA OF PROPERTY**

8,238± Sq.Ft.

**CONTEMPLATED USE**

Church.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediate

**ENGINEERING  
COMMENTS**

Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING  
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY  
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (City Code Chapters 57 and 64 and State Act 61-929). Any work on or under the 35" Live Oak in the southeast corner of the property is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

**REMARKS**

The applicant is requesting reconsideration and removal of conditions placed on a May 2004 approval to allow conversion of a residential structure for use as a church. The May 2004 application was approved subject to the following conditions: 1) the structure be brought into compliance with all applicable building, electrical, mechanical, plumbing and fire codes prior to any non-residential occupancy; 2) the site be brought into full compliance with all requirements of the Zoning Ordinance, including paved parking, access, landscaping and tree plantings, and signage by January 15, 2005; 3) Any work on or under the 35" Live Oak in the southeast corner of the property is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger; and 4)

if conditions 1 & 2 are not complied with in the specified time frames, this approval will expire and become null and void.

As noted in the previous staff report, conversion of a residential structure to nonresidential use, especially that of assembly, is of concern due to building, electrical, mechanical, plumbing and fire codes. No record of permits or compliance with these codes was found.

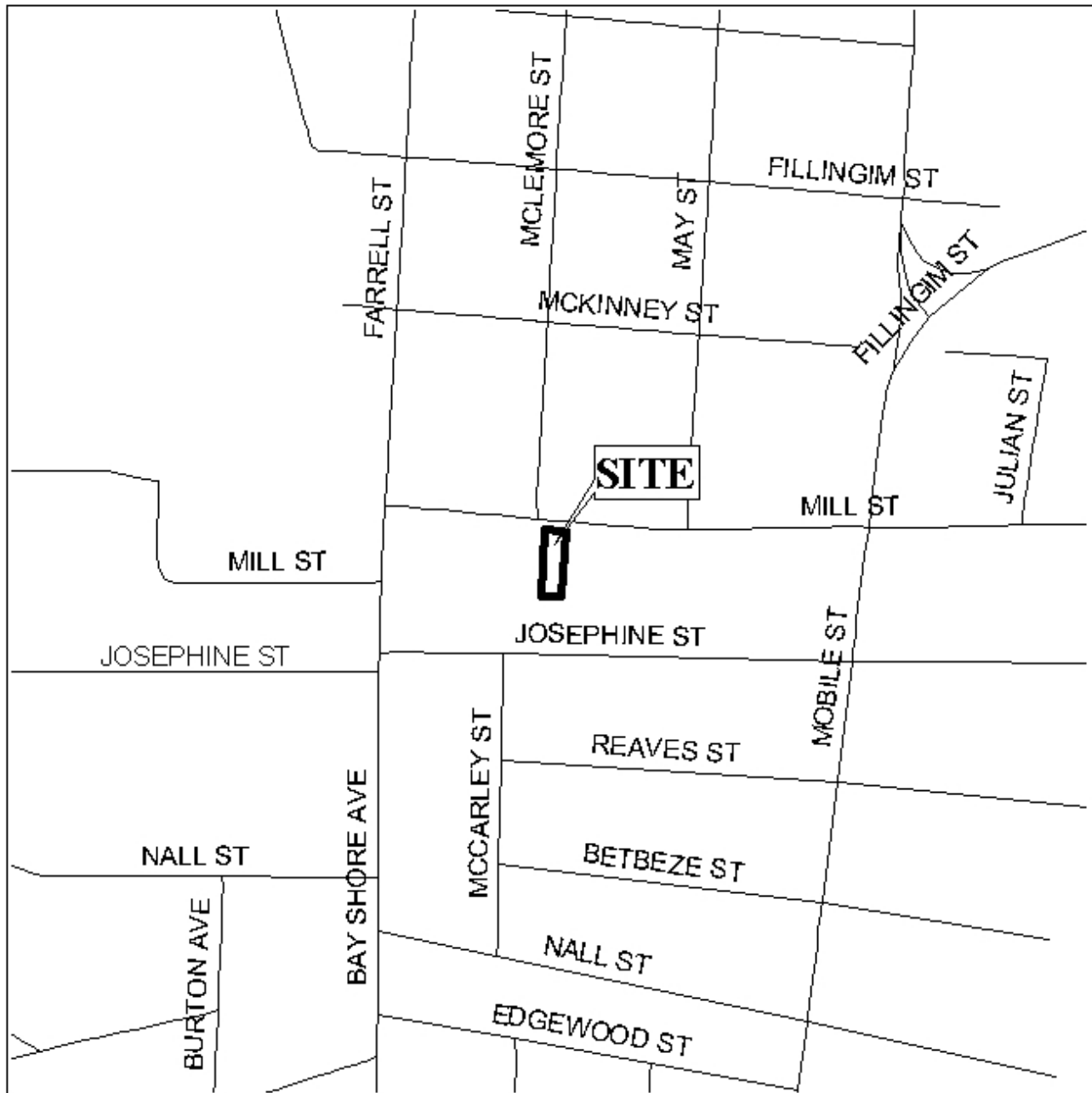
With regard to the parking requirements, the previous application, as well as representatives of the church, stated that this was to be a temporary location for the church. Based upon these statements, the Commission allowed an eight month time frame for the church to relocate or install the required parking facilities (and landscaping and tree plantings).

The application states that members either walk to church or are provided transportation by church operated transit. The applicant has also submitted a letter from the owner of a daycare facility located across Mill Street granting permission for the church to utilize the daycare parking lot. However, that parking facility is not paved and does not appear to meet the minimum standards of the Zoning Ordinance.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

**RECOMMENDATION** Based on the preceding, it is recommended that this application be approved subject to the following conditions: 1) the structure be immediately brought into compliance with all applicable building, electrical, mechanical, plumbing and fire codes; 2) the site be brought into compliance with all requirements of the Zoning Ordinance, including paved parking, access, landscaping and tree plantings, and signage; and 3) Any work on or under the 35" Live Oak in the southeast corner of the property is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

## LOCATOR MAP



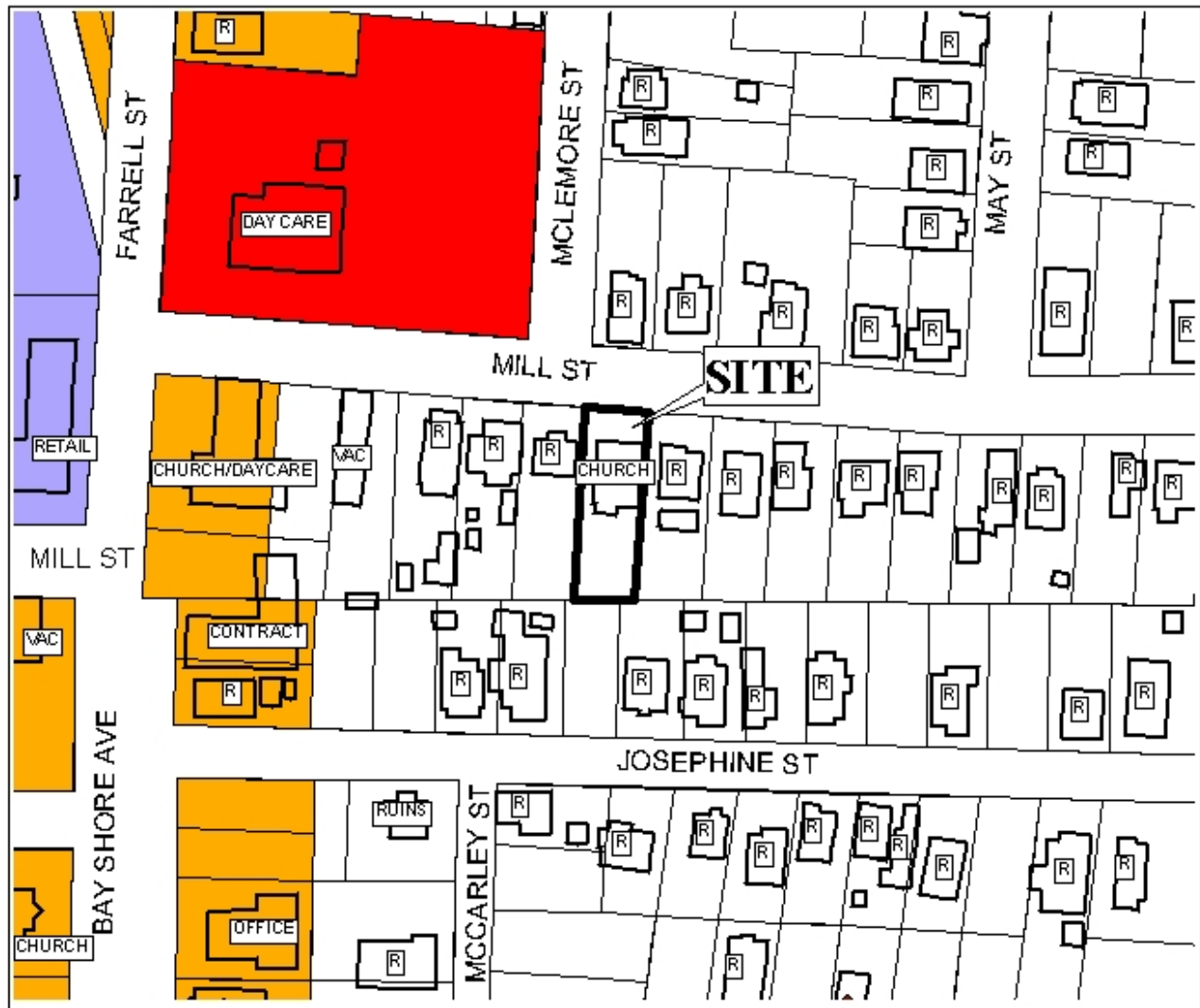
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REQUEST Planning Approval



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



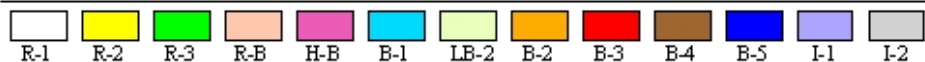
The site is surrounded by single family residential dwellings.

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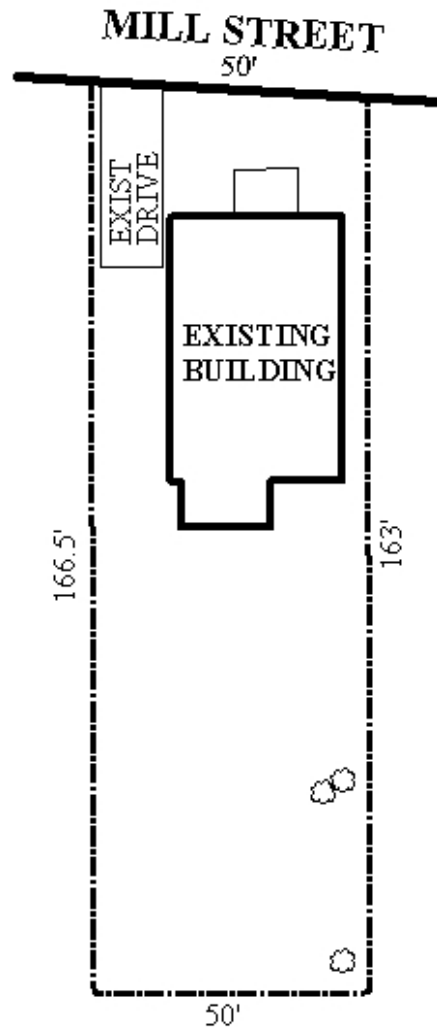
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LEGEND



N  
NTS

## SITE PLAN



The site is located on the South side of Mill Street, 350' East of Bay Shore Drive.  
The plan illustrates the existing structure and drive.

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