

HICKMAN'S WAY SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: No comments.

The preliminary plat illustrates the proposed 3-lot, 17.6 ± acre subdivision, which is located on the West side of Sands Drive at the West terminus of Garriss Drive. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by public water and individual septic systems.

The intent of this application is to create 3 legal lots of record from two metes-and-bounds parcels. The proposed subdivision is a Family Subdivision and the applicant has provided justification for such. Also, it should be pointed out that the proposed Lots 1 and 2 are irregular in shape but only the proposed Lot 2 would be considered a flag lot, for which the applicant has also provided justification which references other irregular shaped lots in the site's vicinity and, as such, a waiver of Section V.D.1. of the Subdivision Regulations regarding flag lots would be required for approval.

Ingress/egress for the proposed Lot 2 would be via the pole portion of the lot which measures 25' wide by 383' ± long and although the flag portion of the lot measures 368' ± wide and 963' ± deep, only 25' of frontage along a public street would be provided. Due to the limited frontage, if approved, future subdivision of the proposed Lot 2 should be prohibited until additional frontage along a public or private street is provided. This note should appear on the Final Plat if approved.

In accordance with the Subdivision Regulations, all three proposed lots exceed the minimum lot size requirements and the 25-foot minimum building setback line is depicted on the preliminary plat but should be revised for the proposed Lot 2 and depicted as a box where the "flag" meets the "pole" of the lot and retained elsewhere on the Final Plat, if approved.

The proposed subdivision has frontage along Sands Drive, a minor street without curb and gutter. The preliminary plat illustrates a varying right-of-way, however, according to the Section V.B.14. of the Subdivision Regulations, the right-of-way should be 60'. As a result, the current right of way may not be sufficient and, as such, dedication, if needed, should be required to provide 30' as measured from centerline.

It is important to note that the Major Street Plan component of the Comprehensive Plan illustrates a proposed Major Street which is planned to run along the Western boundary of the proposed Lots 1 and 2 of Hickman's Way Subdivision. The proposed right-of-way is 100' and, as such, would require 50' of right-of-way on either side of the centerline. There have been other subdivisions approved by the Planning Commission which front a portion of the proposed route of the proposed Major Street, and instead of requiring dedication to provide 50' of right-of-way from the proposed centerline, the Commission instead, required a 75' setback, which included the 50' as measured from centerline and an additional 25' for a front-yard setback. As there are no known immediate plans for street's construction, this request should be considered in a similar manner, thus, the Final Plat should be revised to illustrate a 75' setback along the Western lot line of the proposed Lots 1 and 2, if approved.

As the proposed Major Street is planned to run along the Western lot line of the proposed Lots 1 and 2, access management is a concern because the proposed Lots 1 and 2 would be considered "Double Frontage Lots" with the construction of the proposed Major Street. Section V.D.8. of the Subdivision Regulations references double frontage lots and prohibits access via the proposed Major Street. Therefore, the proposed Lots 1 and 2 would be denied access to the proposed Major Street and the Final Plat should be in compliance with Section V.D.8. of the Subdivision Regulations, if approved. It should be noted that if the applicant desires access via the proposed Major Street once it is constructed, the applicant may present this site to the Planning Commission for consideration.

The site has 2 existing curb-cuts, one for the proposed Lot 1 and another for the proposed Lot 3. As a means of access management, a note should be placed on the Final Plat stating that the proposed Lot 2 be limited to one curb-cut and the proposed Lots 1 and 3 be limited to the existing curb-cuts. The additional curb-cut along with any changes to the existing curb-cut are to be approved by Mobile County Engineering and conform to AASHTO standards.

GIS data indicates the presence of wetlands on a portion of the site due to the existence of a pond and stream. The presence of wetlands and streams would indicate that the area may be environmentally sensitive; therefore, if approved, the approval of all applicable federal, state and local environmental agencies would be required prior to the issuance of any permits or land disturbance activities. A note regarding these requirements should appear on the Final Plat if approved.

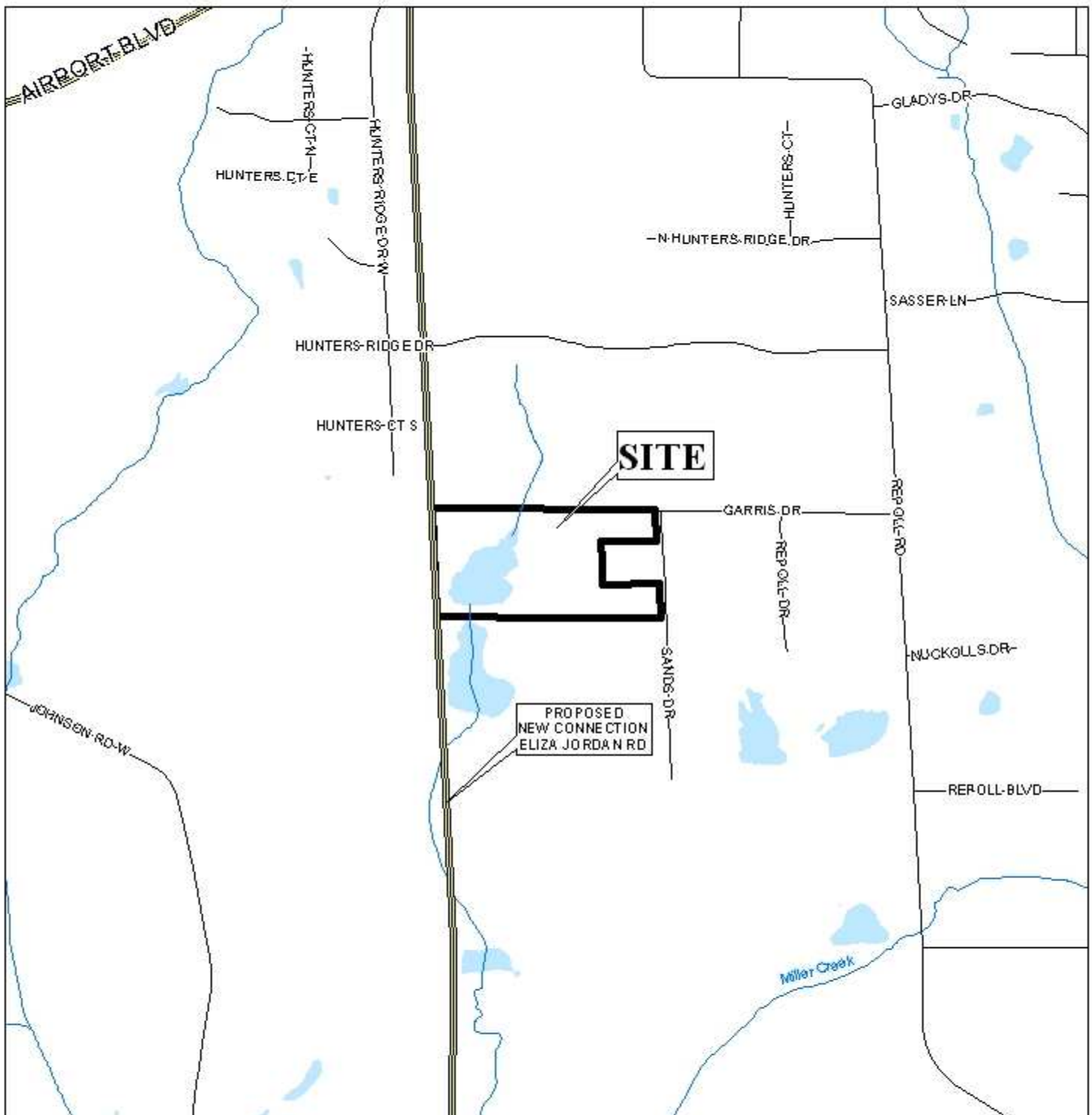
This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding these requirements should appear on the Final Plat if approved.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. If approved, note should appear on the Final Plat to reflect this requirement.

With a waiver of Section V.D.1. of the Subdivision Regulations, the application is recommended for tentative approval, subject to the following conditions:

- 1) Placement of a note on the Final Plat stating that no future subdivision of Lot 2 will be allowed until additional frontage along a paved public street is provided;
- 2) Dedication for all proposed lots to provide 30' of right-of-way along Sands Drive as measured from centerline;
- 3) Revision of the 25' minimum setback line to reflect dedication and to be depicted as a box where the "flag" meets the "pole" of Lot 2 on the Final Plat;
- 4) Revision of lot size information to reflect dedication;
- 5) Illustration of a 75' setback along the Western lot line of Lots 1 and 2 on the Final Plat;
- 6) Placement of a note on the Final Plat limiting Lot 2 to one curb-cut to Sands Drive and Lots 1 and 3 to the existing curb-cuts along Sands Drive. The additional curb-cut along with any changes to the existing curb-cuts are to be approved by Mobile County Engineering and conform to AASHTO standards;
- 7) Placement of a note on the Final Plat stating that Lots 1 and 2 are denied access to Eliza Jordan Road, a proposed Major street;
- 8) Compliance with Engineering Comments and placement of a note on the Final Plat stating: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);*
- 9) Compliance with Fire Comments and placement of a note on the Final Plat stating: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 10) Placement of a note on the Final Plat stating: *(This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.);*
- 11) Placement of a note on the Final Plat stating: *(Any development of the site must comply with local, state and federal regulations regarding wetlands.);* and
- 12) Placement of a note on the Final Plat stating: *(Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.);*

LOCATOR MAP



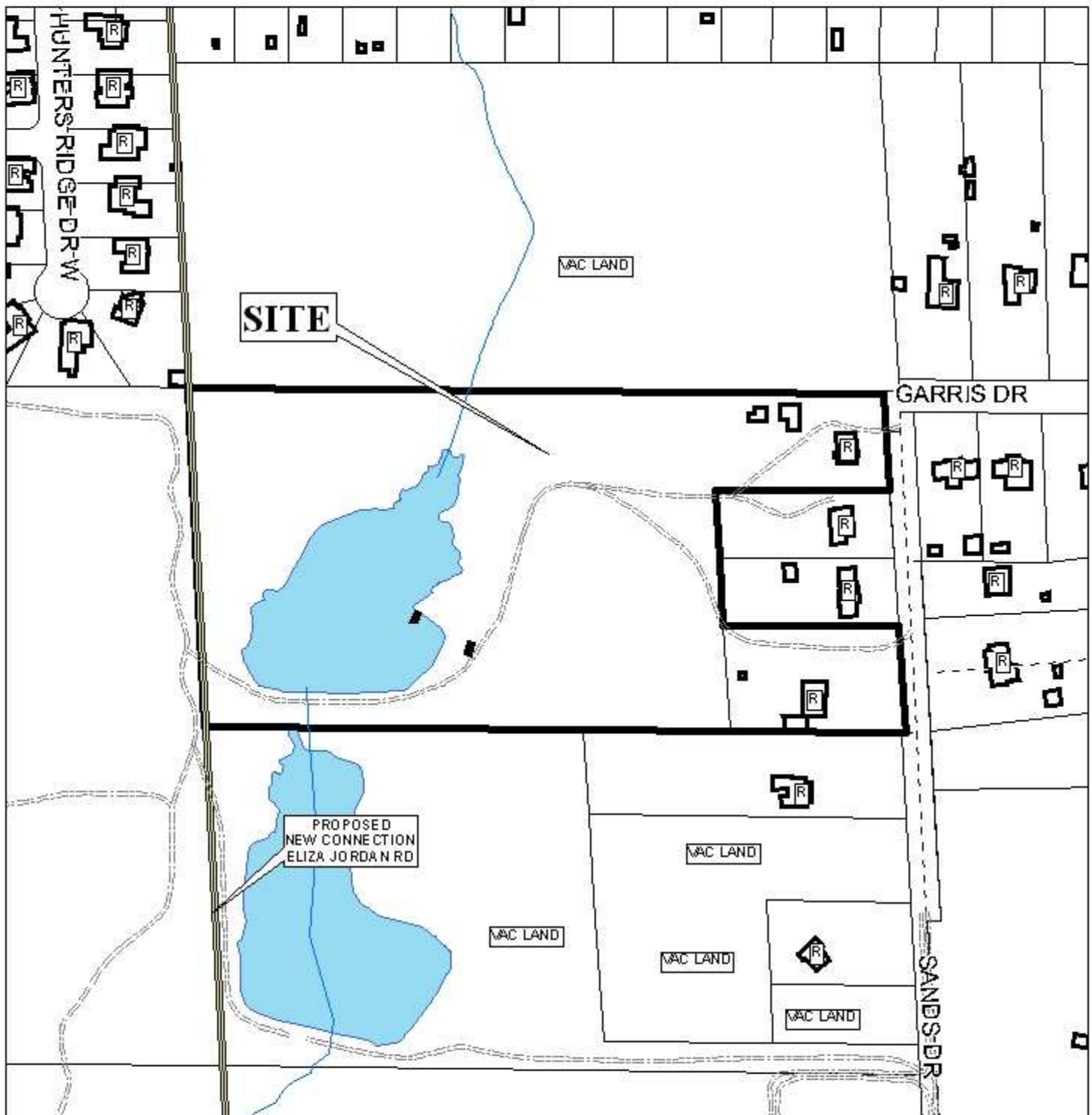
APPLICATION NUMBER 15 DATE January 16, 2014

APPLICANT Hickman's Way Subdivision

REQUEST Subdivision



HICKMAN'S WAY SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



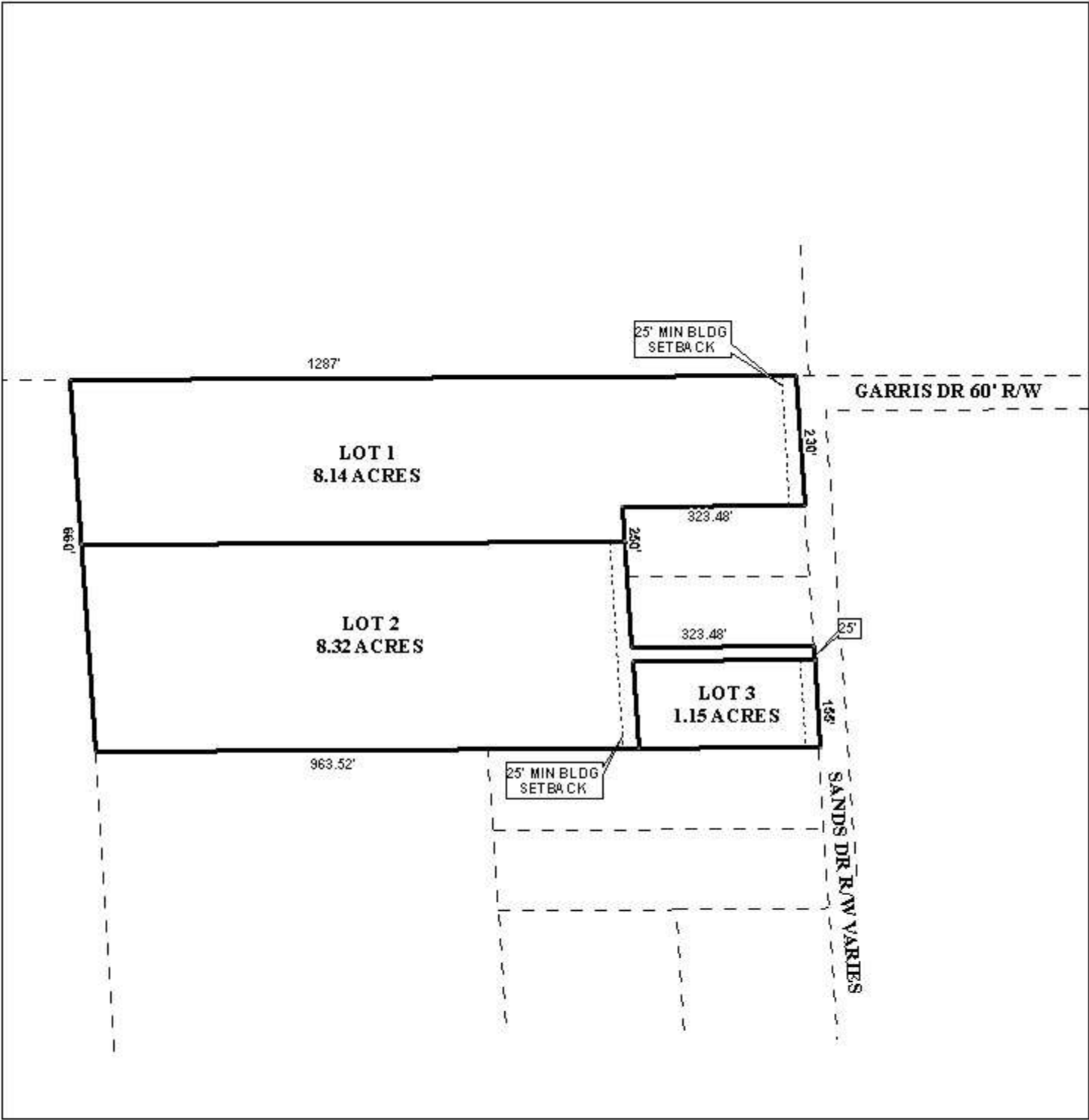
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DETAIL SITE PLAN



APPLICATION NUMBER <u>15</u>	DATE <u>January 16, 2014</u>	
APPLICANT <u>Hickman's Way Subdivision</u>		
REQUEST <u>Subdivision</u>		