

HAMPTON PARK SUBDIVISION

Engineering Comments: No drainage patterns were shown as required by the Subdivision Regulations, therefore, a thorough evaluation of drainage concerns could not be completed. A Hold Harmless agreement will be required if stormwater runoff is increased and/or concentrated onto an adjacent property. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

The plat illustrates the proposed 7.1± acre, 19-lot subdivision which is located at the Northwest corner of Zeigler Boulevard and Middle Ring Road, and is in Council District 7. The site is served by public water and sanitary sewer.

The purpose of the application is to subdivide a metes and bounds parcel into 19 lots. The site received Subdivision approval in 2005 for a very similar proposal and again in 2006 for the same proposal submitted; however, both approvals expired before the subdivision was ever recorded, so a new application is again required.

The site fronts Zeigler Boulevard and Middle Ring Road, both of which are planned major streets, and as such require 100-foot rights-of-way. As shown on the preliminary plat, the final plat should show the existing rights-of-way, and dedication of sufficient right-of-way to provide 50 feet from the centerlines of Zeigler Boulevard and Middle Ring Road (excluding service roads). Furthermore, direct access to Zeigler Boulevard and Middle Ring Road should be denied for Lots 1, 11, 12, 13, and 19.

As the site involves the creation of new streets, construction and dedication to City Engineering standards will be required. The plat shows common and detention areas, and the required note assigning responsibility for their maintenance to the property owners. In addition, the plat has been modified to provide access to the common detention area from the subdivision streets, rather than from Zeigler Boulevard.

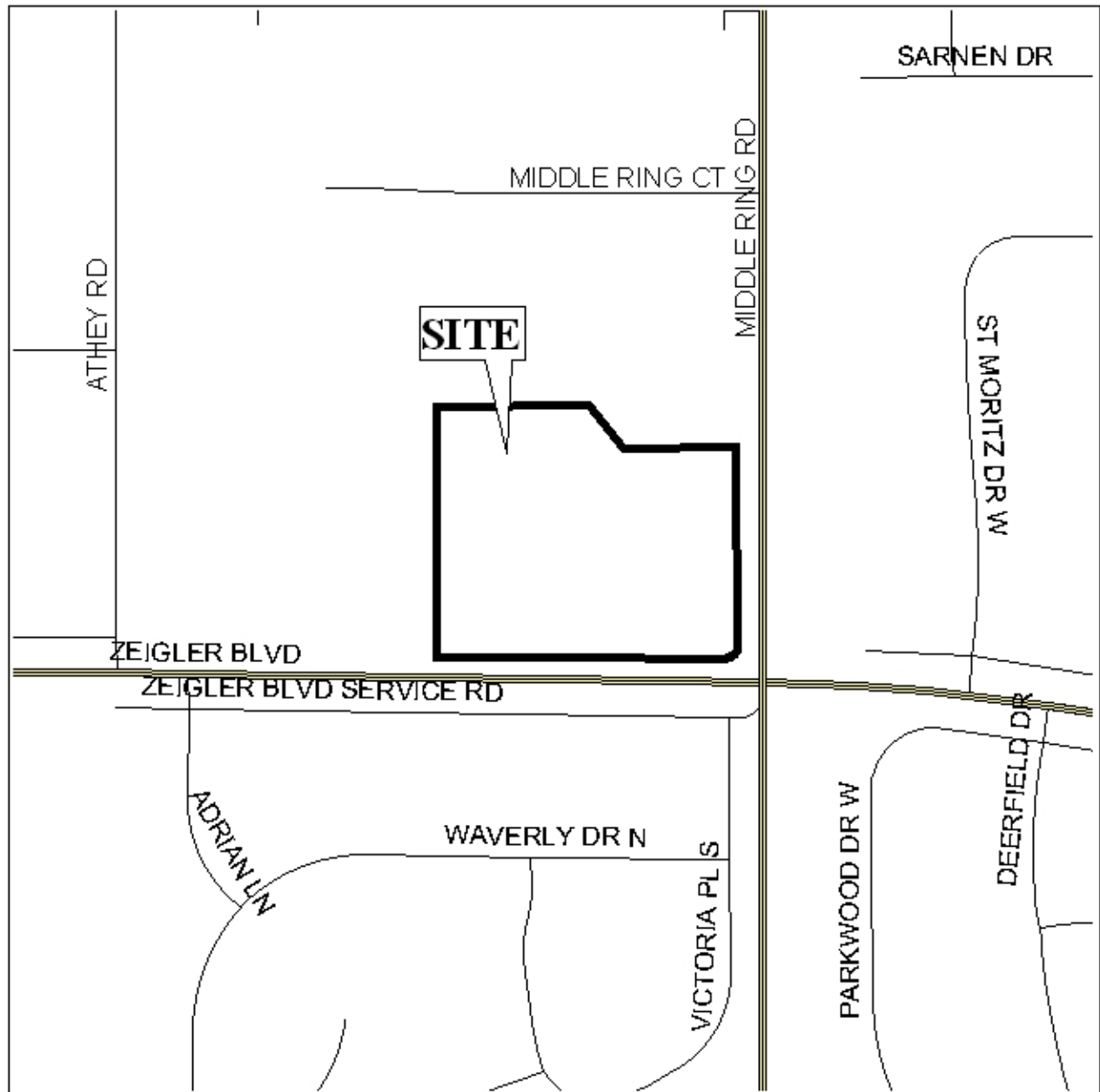
In September of 2008, the Subdivision Regulations were amended to require cul-de-sacs to provide a turnaround right-of-way diameter of 120'. The plat should be revised to show the required additional right-of-way.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, this application is recommended for Tentative Approval subject to the following conditions:

- 1) Compliance with Engineering comments (No drainage patterns were shown as required by the Subdivision Regulations, therefore, a thorough evaluation of drainage concerns could not be completed. A Hold Harmless agreement will be required if stormwater runoff is increased and/or concentrated onto an adjacent property. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands.);
- 2) Dedication of sufficient right-of-way to provide 50 feet from the centerlines of Zeigler Boulevard and Middle Ring Road, as shown on the preliminary plat;
- 3) Construction and dedication of the new streets to City Engineering standards;
- 4) Placement of a note on the final plat stating that direct access to Zeigler Boulevard and Middle Ring Road is denied to Lots 1, 11, 12, 13, and 19, as shown on the preliminary plat;
- 5) Placement of a note on the final plat stating that maintenance of common areas will be property owners' responsibility;
- 6) Revision of the plat to show the new required right-of-way cul-de-sac diameter of 120'; and
- 7) Placement of a note on the plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

LOCATOR MAP



APPLICATION NUMBER 15 DATE February 5, 2009

APPLICANT Hampton Park Subdivision

REQUEST Subdivision



HAMPTON PARK SUBDIVISION



APPLICATION NUMBER 15 DATE February 5, 2009

LEGEND

														
R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS

HAMPTON PARK SUBDIVISION

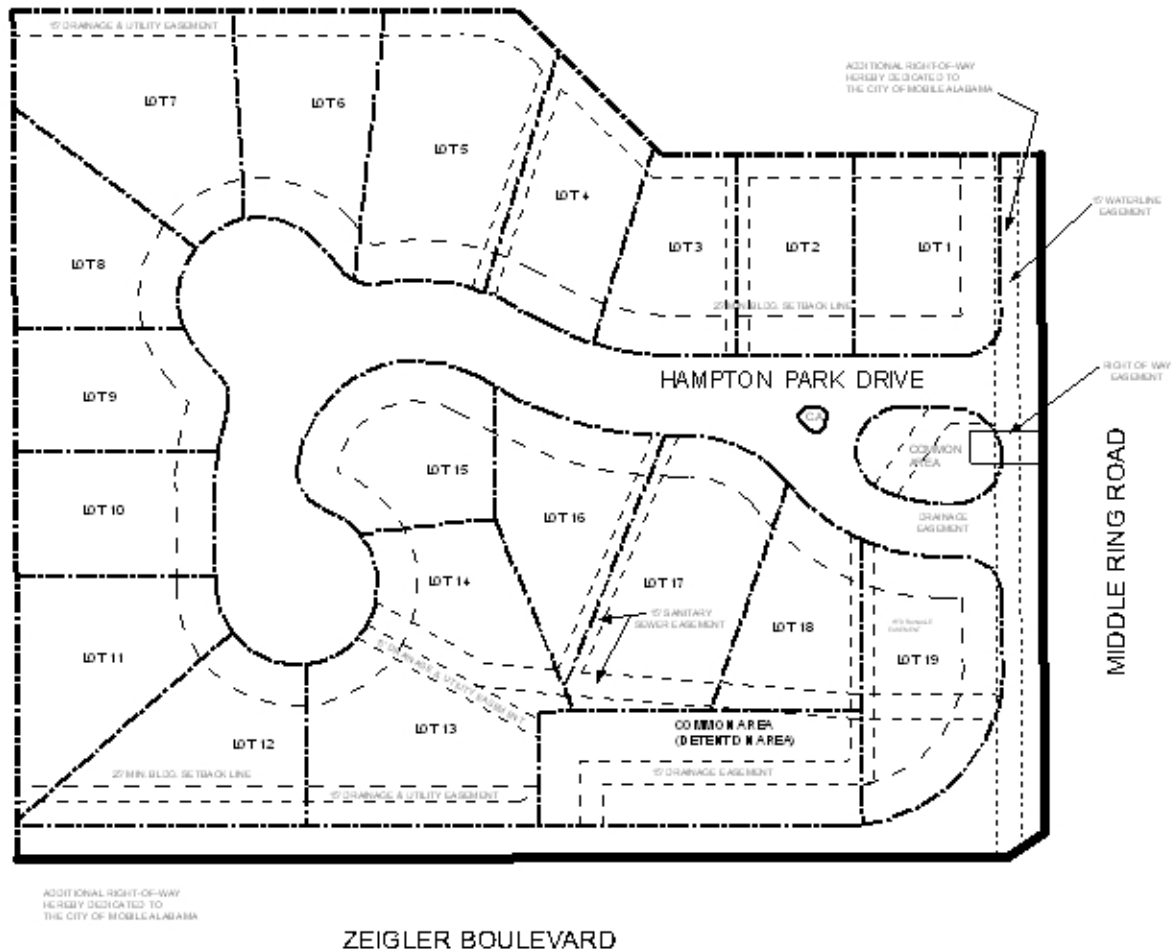


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DETAIL SITE PLAN



APPLICATION NUMBER 15 DATE February 5, 2009
APPLICANT Hampton Park Subdivision
REQUEST Subdivision

