

GULFWOOD SUBDIVISION, UNIT NO.1, REVISION OF LOT 8 AND ADDITION TO UNIT 1

Engineering Comments: The following comments should be addressed prior to review, acceptance and signature by the City Engineer: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045). 3. Add a note to the plat stating that any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 4. Submit for signature concurrently with the submittal of the Subdivision Plat for Wacker Subdivision, Revision and Addition to Lot 2 (Case # SUB2013-00052).

Traffic Engineering Comments: Each lot shall be limited to one curb-cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

The plat illustrates the proposed 1 acre \pm , 2 lot subdivision which is located on the East side of Batre Lane extending to the West side of Wacker Lane 200' \pm North of Stein Street and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is for revision of Lot 8 and the addition of Lot 9 to the Gulfwood Subdivision, Unit 1. The original Gulfwood Subdivision, Unit 1 was recorded on December 27, 1951.

Lot 8 fronts onto Wacker Lane, a minor street with an inadequate right-of-way of 33', thus dedication of 8.5' shall be required. Lot 9 fronts onto Batre Lane, a minor street with a right-of-way of 50', however 5' dedication at the southwest corner shall be required due to curvature of the ROW. As means of access management, a note on the plat should be required on the Final Plat stating that the Lot 8 and Lot 9 are limited to their existing curb cuts with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Proposed Lot 8 was developed in 2012. On the site plan submitted at the time for the permit a front setback of 26' was illustrated. The preliminary plat illustrates the house with a front setback at 18.5'; because this encroaches into the 25' required setback, a successful variance to the Board of Adjustment should be required prior to the signing of the Final Plat or Issuance of Certificate of Occupancy.

The proposed lots meet minimum size requirements. The plat however contains several errors; note 4) states, V.A.7 which should be amended to V.A.8 and on note 7) states *Lot 8 and 9 are limited to one curb cuts onto Worth Drive* which should be amended to state Lot 8 and 9 are limited to existing curb cuts onto Wacker Lane and Batre Lane. The legal description is also inaccurate and should be revised before signing of the Final Plat.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that Lot 8 and Lot 9 are limited to existing curb cuts with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) retain 8.5' dedication on Wacker Lane and 5' on the Southwest corner of Batre Lane on the final plat.;
- 3) submission of an application to the BOA to address the front yard setback encroachment on proposed Lot 8, prior to the signing of the final plat or the obtaining of a Certificate of Occupancy;
- 4) revision of note 4) states V.A.7 and should be amended to V.A.8;
- 5) revision of note 7) states that *Lot 8 and 9 are limited to one curb cut onto Worth Drive* and should be amended to state that Lot 8 and 9 are limited to existing curb cuts on Wacker Lane and Batre Lane;
- 6) compliance with Engineering comments (The following comments should be addressed prior to review, acceptance and signature by the City Engineer: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045). 3. Add a note to the plat stating that any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 4. Submit for signature concurrently with the submittal of the Subdivision Plat for Wacker Subdivision, Revision and Addition to Lot 2 (Case # SUB2013-00052).

- 7) compliance with Traffic Engineering comments (*Each lot shall be limited to one curb-cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.*)
- 8) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).*)
- 9) compliance with Fire Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*)
- 10) placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities; and
- 11) full compliance with all other municipal codes and ordinances.

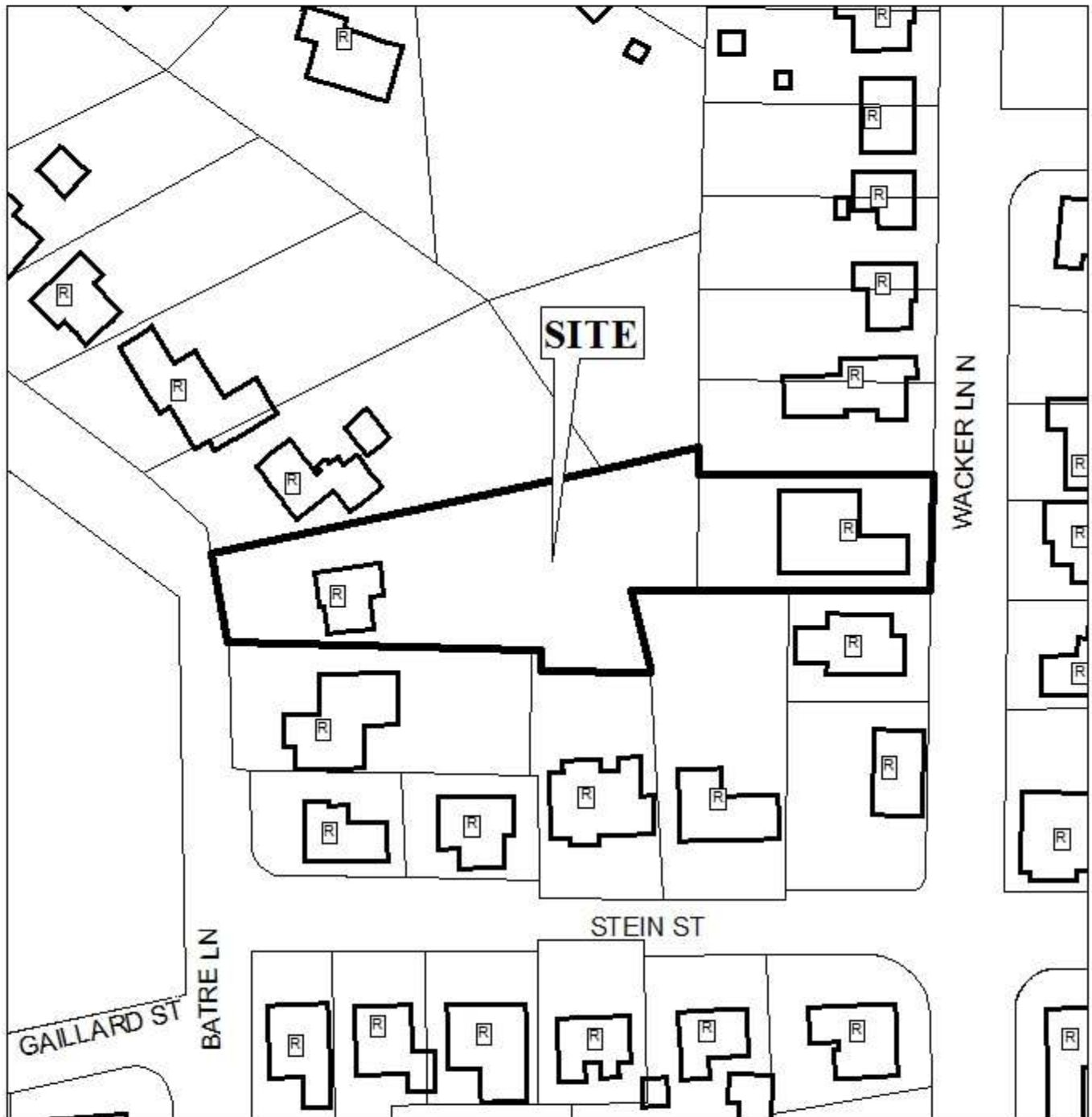
LOCATOR MAP



APPLICATION NUMBER 15 DATE July 11, 2013
APPLICANT Gulfwood, Unit No. 1, Revision of Lot 8 and Addition to Unit No. 1
REQUEST Subdivision

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GULFWOOD, UNIT NO. 1, REVISION OF LOT 8, AND ADDITION TO UNIT NO. 1



APPLICATION NUMBER 15 DATE July 11, 2013

LEGEND

														
R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



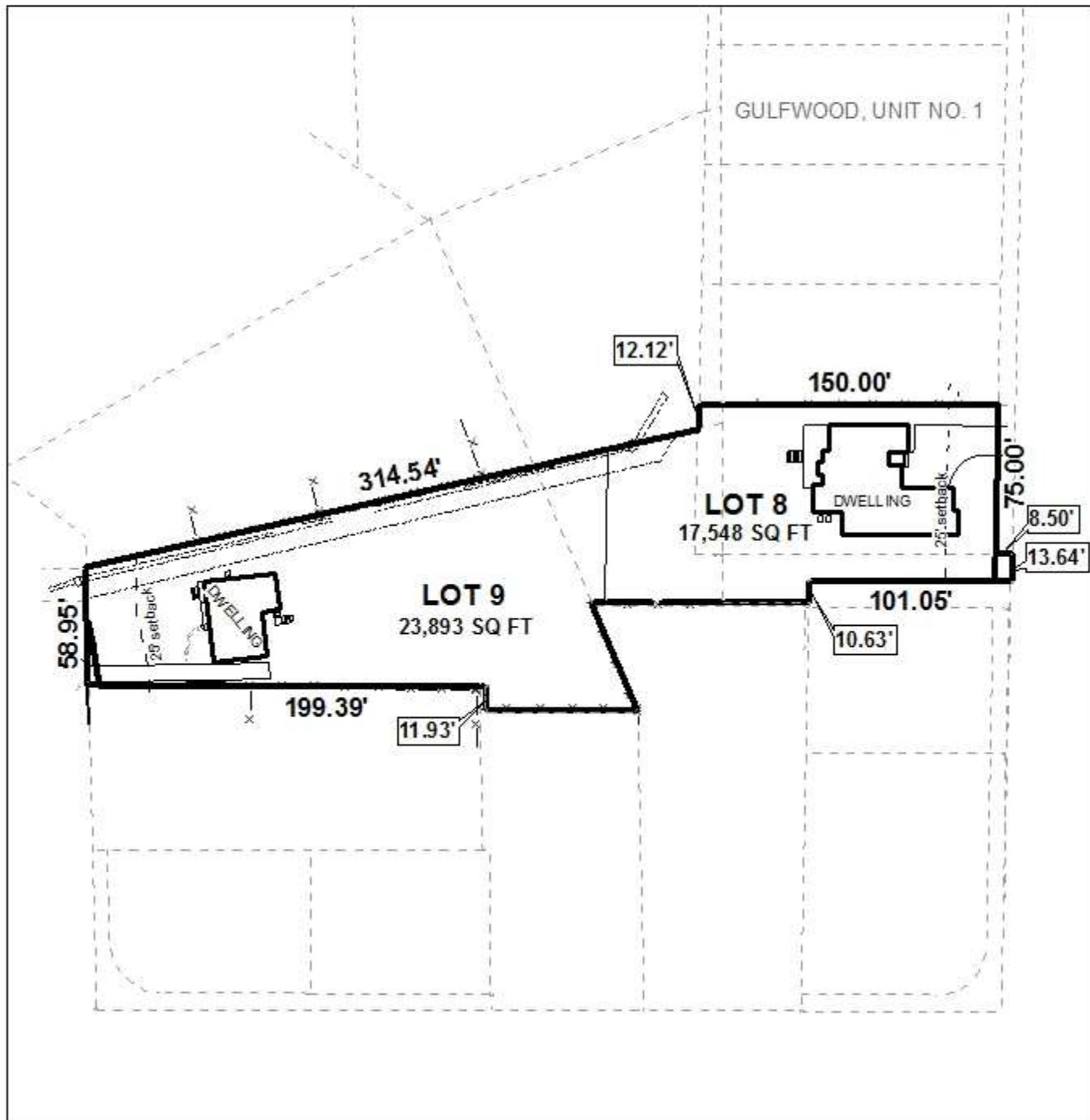
**GULFWOOD, UNIT NO. 1, REVISION OF LOT 8,
AND ADDITION TO UNIT NO. 1**



APPLICATION NUMBER 15 DATE July 11, 2013



DETAIL SITE PLAN



APPLICATION NUMBER 15 DATE July 11, 2013
APPLICANT Gulfwood, Unit No.1, Revision of Lot 8 and Addition to Unit No.1
REQUEST Subdivision

