

DOG RIVER CRESCENT SUBDIVISION, RESUBDIVISION OF LOTS 20, 21 & 22

Engineering Comments: 1. Any land disturbance or construction activity is required to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984). Any land disturbing activity or construction that was completed without obtaining the proper permits shall be required to obtain proper permits prior to signature of the final plat. 2. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes).

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

The plat illustrates the proposed 1.3 acre \pm , 2 lot subdivision which is located on North side of Crescent Drive North, 60' \pm East of Crescent Drive West, and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to resubdivide three existing legal lots to create two legal lots, and to alter the placement of the property line between the two existing residences. It appears that the new location of the common lot line will accommodate an existing garage on Lot 20, the Western-most lot, that was built 4-feet across the common property line.

The site fronts onto Crescent Drive North, a minor street. The preliminary plat does not indicate the right-of-way width as required by the Subdivision Regulations, thus staff cannot determine if the existing right-of-way is adequate. Measurement of parcel data available to staff indicates that Crescent Drive North has a right-of-way width of only 36 feet, thus dedication will be required to provide 25-feet from centerline.

The 25-foot minimum building setback line is depicted on the preliminary plat, however, its location must be revised to reflect any required dedication.

The lot sizes are not depicted on the preliminary plat, thus the plat should be revised to include the size of each proposed lot in square feet, reflecting any required dedication.

It appears that each existing property has one curb-cut to Crescent Drive North, thus each property should be limited to one curb-cut, with any changes to the size, design and location to be approved by Traffic Engineering, and to comply with AASHTO requirements.

Proposed Lot A will exceed the recommended width to depth ratio. As the Subdivision will result in the widening of an existing narrow lot, Section V.D.3. of the Subdivision Regulations should be waived.

As previously mentioned, the Subdivision will include a change in the location of a common lot line between the two sites, to accommodate a garage structure that was built apparently 4-feet across the common lot line. It appears that the garage and the adjacent swimming pool and concrete deck were built between 2002 and 2006, however, staff cannot find any associated building permits for the garage, and only an electrical permit for the swimming pool: thus it appears that the garage and the swimming pool may have been constructed without the appropriate permits or site plan review. Furthermore, the properties are located within the floodplain for Dog River, thus any construction that was undertaken without permits may not comply with the Building Code or with Engineering Department's or FEMA regulations.

It should also be pointed out that a variance was granted to allow for the expansion of the residence on Lot 20 (proposed Lot A), to allow the new construction to be within 5.6 feet of the Western property line. The site plan submitted with the variance application in 2002 did not indicate any new garage or swimming pool. It appears that the permits issued for the expansion of the existing house were never "finalized," meaning that final inspections for the associated building permits apparently did not take place.

The site is located within the floodplain for Dog River, however, the preliminary plat does not include flood-related information. The plat should be revised to depict floodzones, and include the base flood elevation as is typically required on plats.

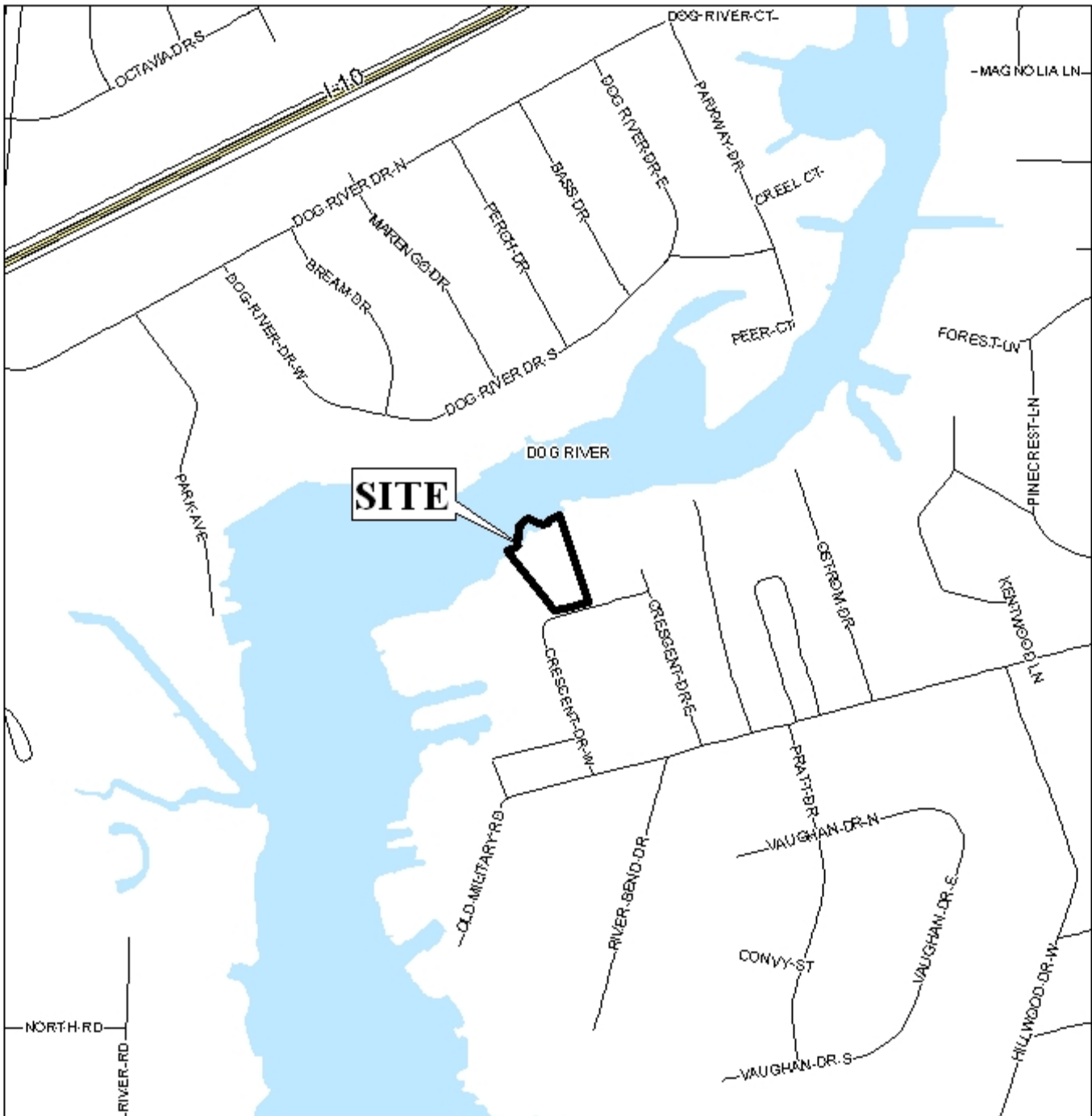
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, and with a waiver of Section V.D.3. of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Revision of the plat to depict the existing right-of-way width for Crescent Drive North;
- 2) Revision of the plat to depict dedication along Crescent Drive North to provide 25-feet from centerline;
- 3) Revision of the 25-foot minimum building setback line to reflect dedication;
- 4) Labeling of the lot size in square feet, reflecting dedication;
- 5) Placement of a note on the final plat stating that each lot is limited to one curb-cut, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards.
- 6) Compliance with Engineering comments (*1. Any land disturbance or construction activity is required to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984). Any land disturbing activity or construction that was completed without obtaining the proper permits shall be required to obtain proper permits prior to signature of the final plat. 2. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes).;*);

- 7) Compliance with Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*);
- 8) Approval of all applicable federal, state and local agencies for floodplain issues prior to the issuance of any permits or land disturbance activities;
- 9) Placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities; and
- 10) After the fact permitting of the garage and pool at 2560 Crescent Drive North, including land disturbance and building permit applications within 6 months of Subdivision approval;
- 11) Completion via final inspections of all other permits associated with the expansion and renovation of the house prior to the signing of the final plat; and
- 12) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



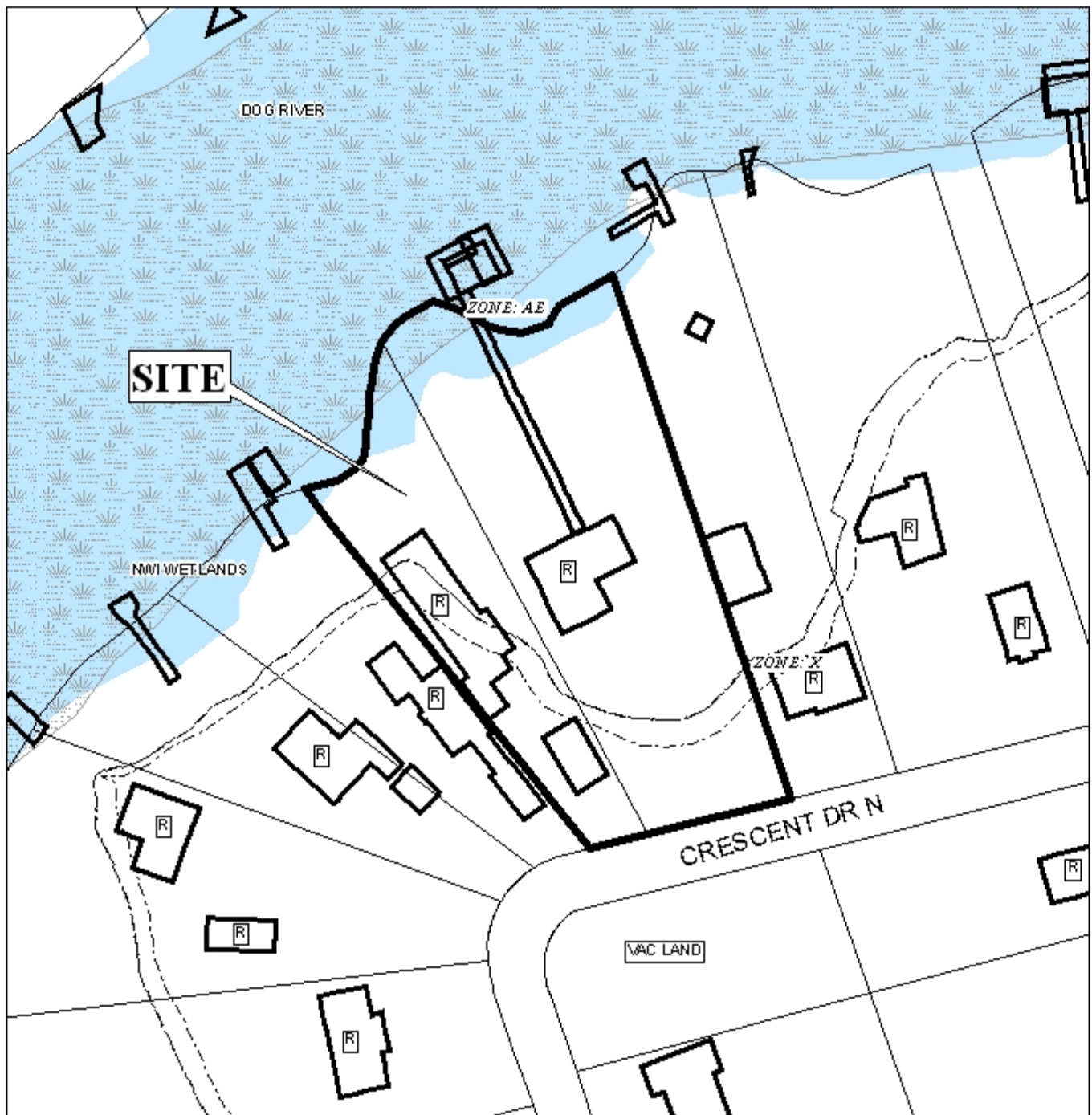
APPLICATION NUMBER 15 DATE August 2, 2012

APPLICANT Dog River Crescent Subdivision, Resubdivision of Lots 20, 21 & 22

REQUEST _____ Subdivision _____



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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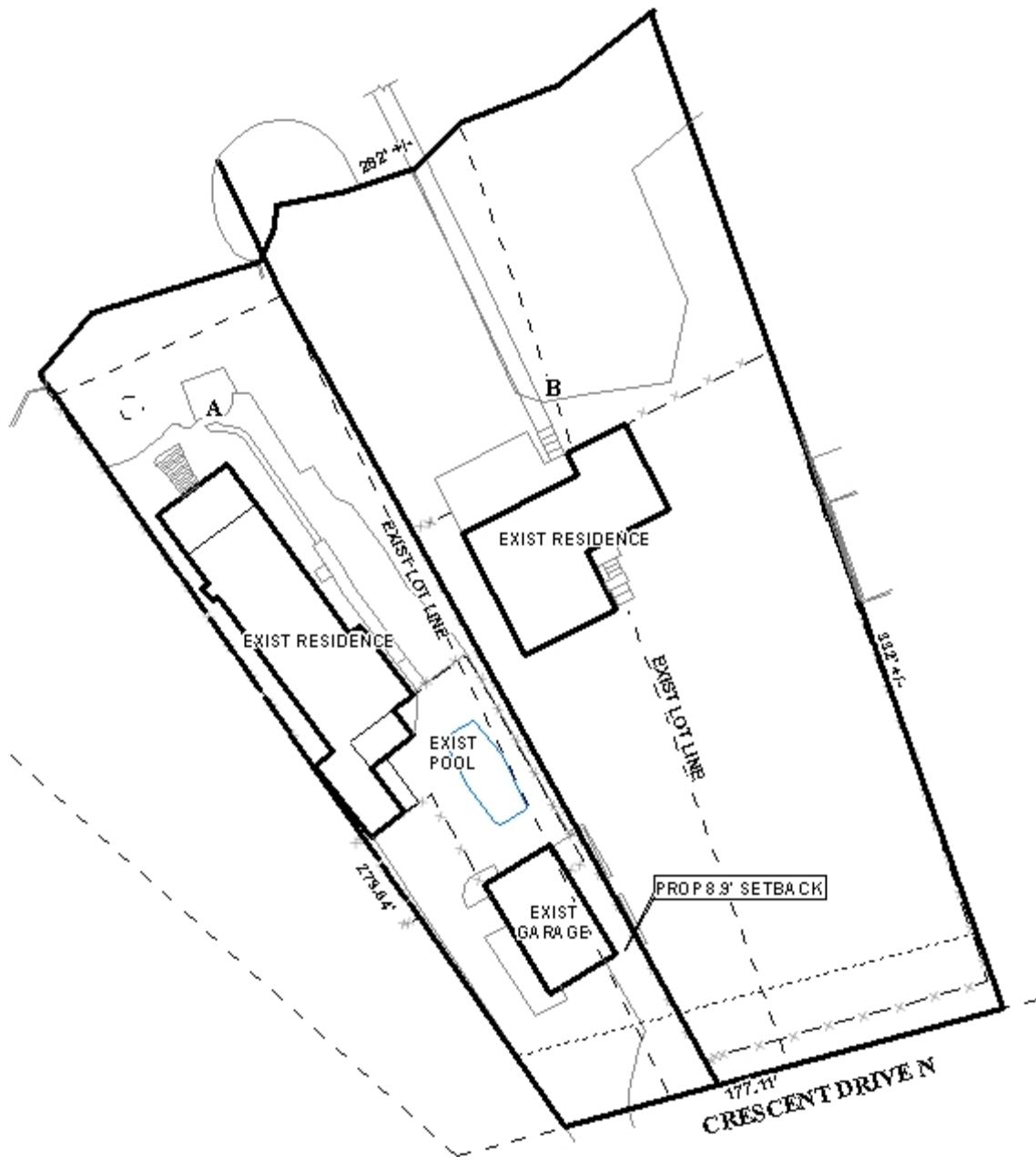
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DETAIL SITE PLAN



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REQUEST Subdivision

