

COLE'S ADDITION TO KINGSWOOD SUBDIVISION, RESUBDIVISION OF LOTS 3 & 4

Engineering Comments: Must comply with all storm water and flood control ordinances. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Final approval for all driveways, proposed and existing will be given upon submittal of final plans.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: No comments submitted.

The plat illustrates the proposed 0.6± acre, 2-lot subdivision which is located at the Northeast corner of Hawthorne Place and Hawthorne Place North. The subdivision is served by public water and sanitary facilities.

The purpose of this application is to resubdivide two lots of record by shifting the common lot line between the two lots to allow room on Lot 3 for the construction of a pool.

The site fronts Hawthorne Place and Hawthorne Place North, both with sufficient right-of-way. No right-of-way dedication is required. As a means of access management, a note should be placed on the final plat stating that each lot is limited to one curb cut, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

One concern of the previous subdivision was that there might not be suitable buildable area on the lots, but staff was satisfied that such could be provided. Lot 3 is already developed, but Lot 4 is still vacant. In this instance, Lot 4 would lose area, but a review of the evidence supporting adequate buildable area furnished with the original subdivision indicates that Lot 4 would still contain sufficient buildable area. As originally recorded, the lots have a 12' left side and an 8' right side yard setback. The plat submitted indicates these setbacks on Lot 3, as originally recorded, but only the 8' right side yard setback for Lot 4 is indicated. Therefore, the plat should be revised to indicate the 8' right side yard setback on Lot 3 following the revised lot line, and the 12' left side yard setback on Lot 4 following the revised lot line should also be indicated.

The lots are labeled with their sizes in square feet as originally recorded. The size labels should be revised to indicate the revised area for each lot, or a table should be provided on the final plat depicting the same information.

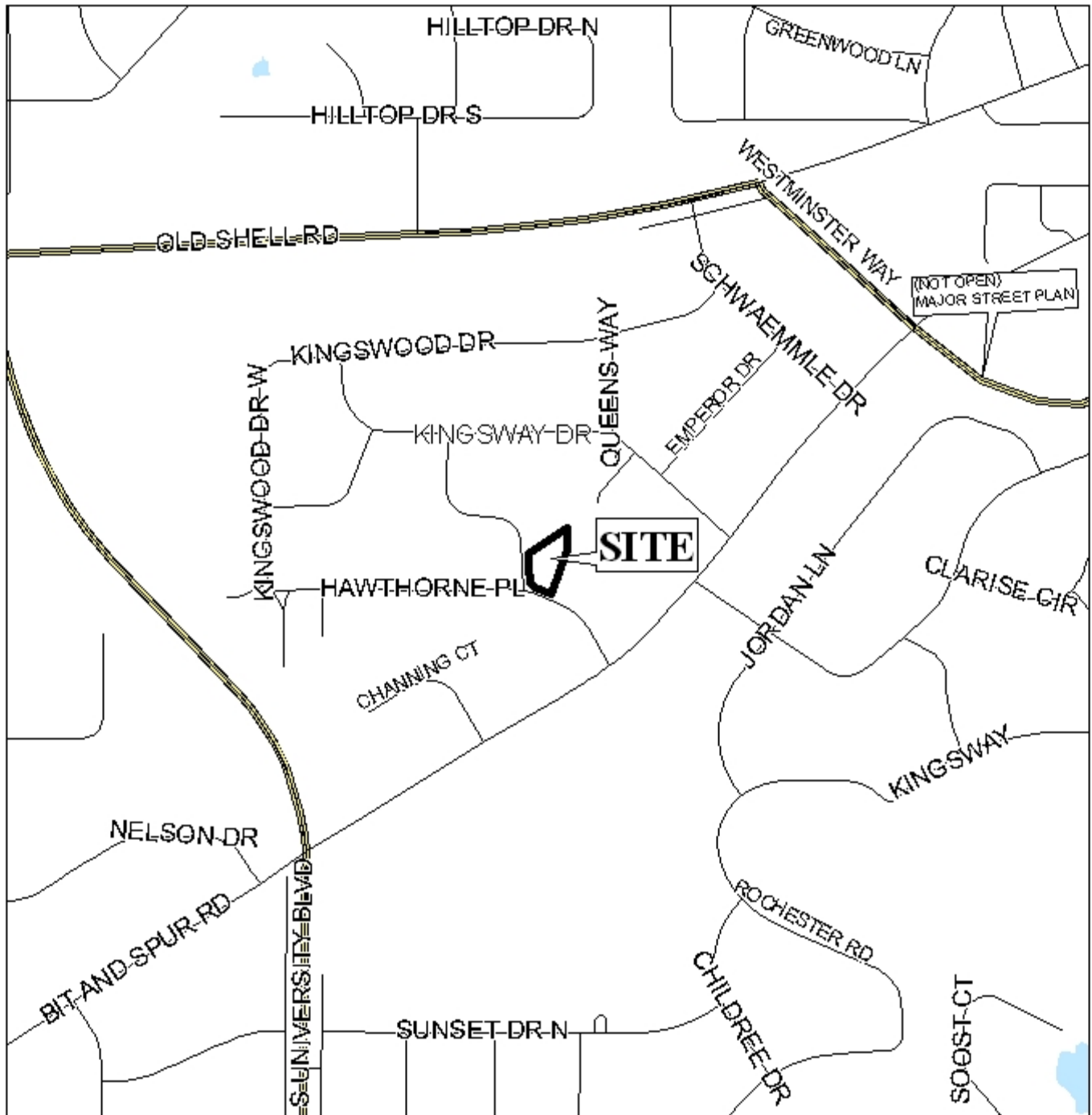
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-

game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that each lot is limited to one curb cut, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) revision of the plat to indicate the 8' right side yard setback on Lot 3 following the revised lot line;
- 3) revision of the plat to indicate the 12' left side yard setback on Lot 4 following the revised lot line;
- 4) revision of the plat to label each lot with its revised area in square feet, or the provision of a table on the final plat depicting the same information;
- 5) placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 6) subject to City Engineering comments: *(Must comply with all storm water and flood control ordinances. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit).*

LOCATOR MAP



APPLICATION NUMBER 15 DATE July 10, 2008
Coles Addition to Kingswood Subdivision, Resubdivision of
APPLICANT Lots 3 & 4
REQUEST Subdivision



COLES ADDITION TO KINGSWOOD SUBDIVISION,
RESUBDIVISION OF LOTS 3 & 4

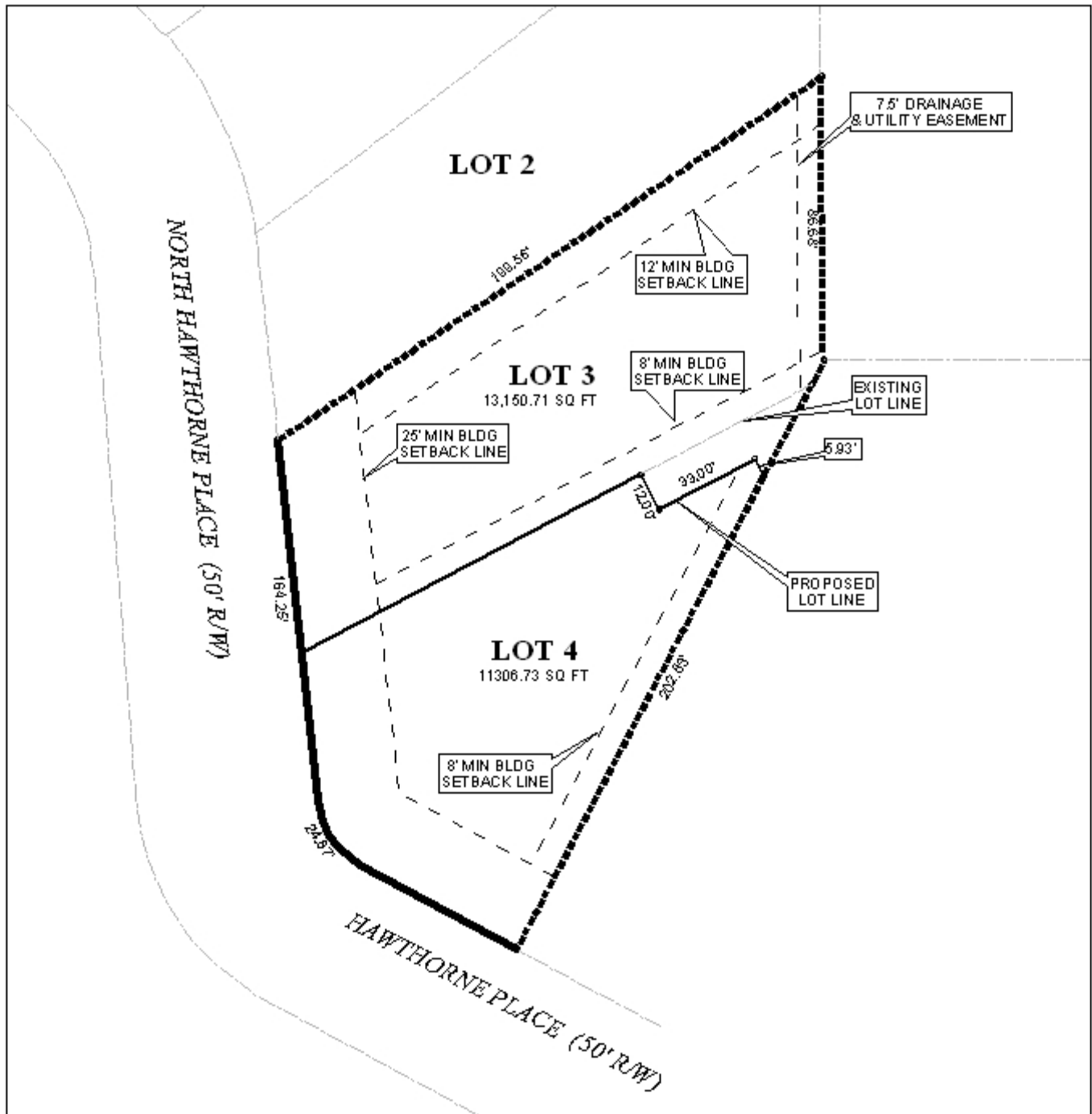


APPLICATION NUMBER 15 DATE July 10, 2008

LEGEND



DETAIL SITE PLAN



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Lots 3 & 4

REQUEST Subdivision

