

CHESAPEAKE SUBDIVISION, **UNIT 1 & UNIT 2**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has ONLY water services available.

The plat illustrates the proposed 48-lot, 17.0± acre subdivision, which is located at the West side of Air Terminal Drive 850'± North of Grelot Road and is located within the Planning Jurisdiction. The applicant states that the subdivision is served by public water, and will be served by a public sanitary sewer system.

The purpose of this application is to subdivide an existing legal lot of record (Lot 2, Woodberry Forest Additions Subdivision) into 48-lots including a "Future Development" area, to include the construction of new streets within the 47-lot development area.

The site was part of a proposed two-lot subdivision approved by the Planning Commission at its August 4, 2011 meeting and recorded in Mobile County Probate Court as Woodberry Forest Additions Subdivision. This application is creating a phased 47-lot development and a "Future Development" area from Lot 2, Woodberry Forest Additions Subdivision.

The site fronts Air Terminal Drive, a proposed major street with an existing variable right-of-way as illustrated on the preliminary plat. However, this is required due to the 100-foot right-of-way width requirement for major streets, if in the future the road widened.

Development of the site will require the construction of new streets. The development will access Air Terminal Drive via one street, with a street stub to the "Future Development". Two cul-de-sacs are proposed within the development, and the plat indicates that the cul-de-sac diameter does not comply with the requirements (120-feet) of the Subdivision Regulations. Therefore, the Final Plat should illustrate compliant cul-de-sac right-of-way to comply with All roads must be paved in asphalt or concrete, built to County standards, and accepted by the County prior to the recording of the Final Plat.

It should be noted that the site abuts an undeveloped "Future Development" area. Section V.B.14. of the Subdivision Regulations require the provision of street-stubs to adjacent

properties; therefore, the plat should be revised to depict an acceptable turn around to provide access by emergency vehicles upon completion of each Unit.

As designed, Lot 29 will have frontage onto an internal street to the proposed subdivision as well as frontage onto Air Terminal Drive. To minimize the number of curb-cuts onto Air Terminal Drive, Lot 29 should be denied direct access to Air Terminal Drive. All lots within the development should be limited to one curb-cut, with the size, design and location to be approved by Mobile County Engineering, and to comply with AASHTO standards.

All lots appear to meet minimum size requirements for properties served by public water and sewer systems. Additionally, the 25-foot minimum building setback line is depicted on the preliminary plat, and should be retained on the Final.

Detention/common areas are proposed for the subdivision. Therefore, all common areas should be labeled, and a note should be placed on the Final Plat, if approved, stating that maintenance of the detention/common areas, are the responsibility of the subdivision's property owners.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note regarding this requirement should appear on the Final Plat.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the final plat.

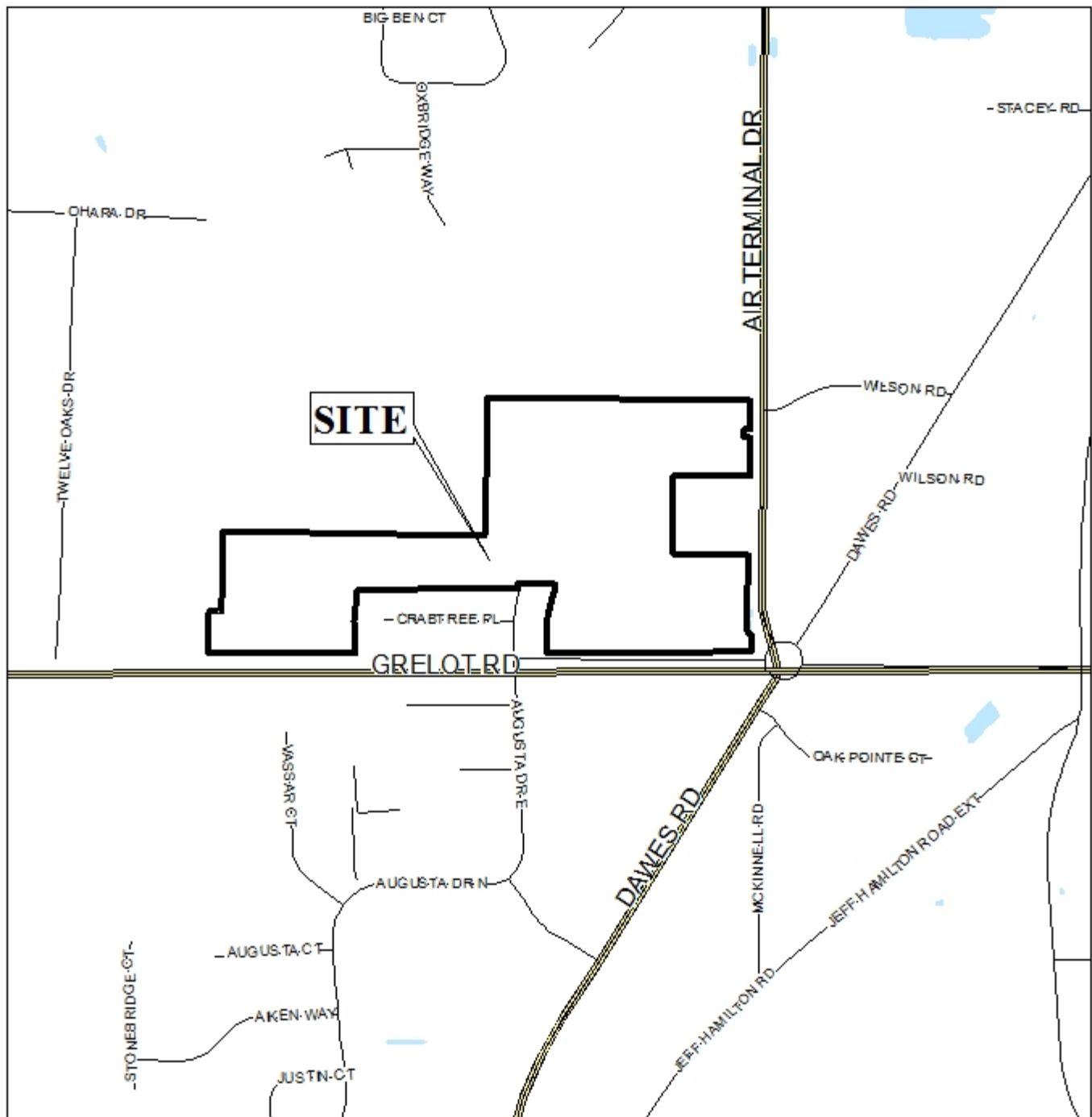
The site must comply with the City of Mobile storm water and flood control ordinances. Therefore, a note stating "Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits." should be placed on the Final Plat.

Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) revision of the plat to illustrate dedication to provide 50-feet from the centerline on Air Terminal Drive;
- 2) construction and acceptance by Mobile County Engineering of all streets;
- 3) revision of the preliminary plat to illustrate acceptable turnarounds at completion of Units 1 and 2;
- 4) placement of a note on the Final Plat labeling all detention facilities and common area, stating that maintenance of the detention/common areas, are the responsibility of the subdivision's property owners;

- 5) placement of a note on the Final Plat limiting each lot to one curb cut each, with the size, design, and location of the curb cut to be approved by Traffic Engineering and conform to AASHTO standards;
- 6) placement of a note on the Final Plat stating that Lot 29 is denied direct access to Air Terminal Drive;
- 7) placement of a note to comply with the City of Mobile storm water and flood control ordinances (*Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.*); and
- 8) placement of a note on the stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

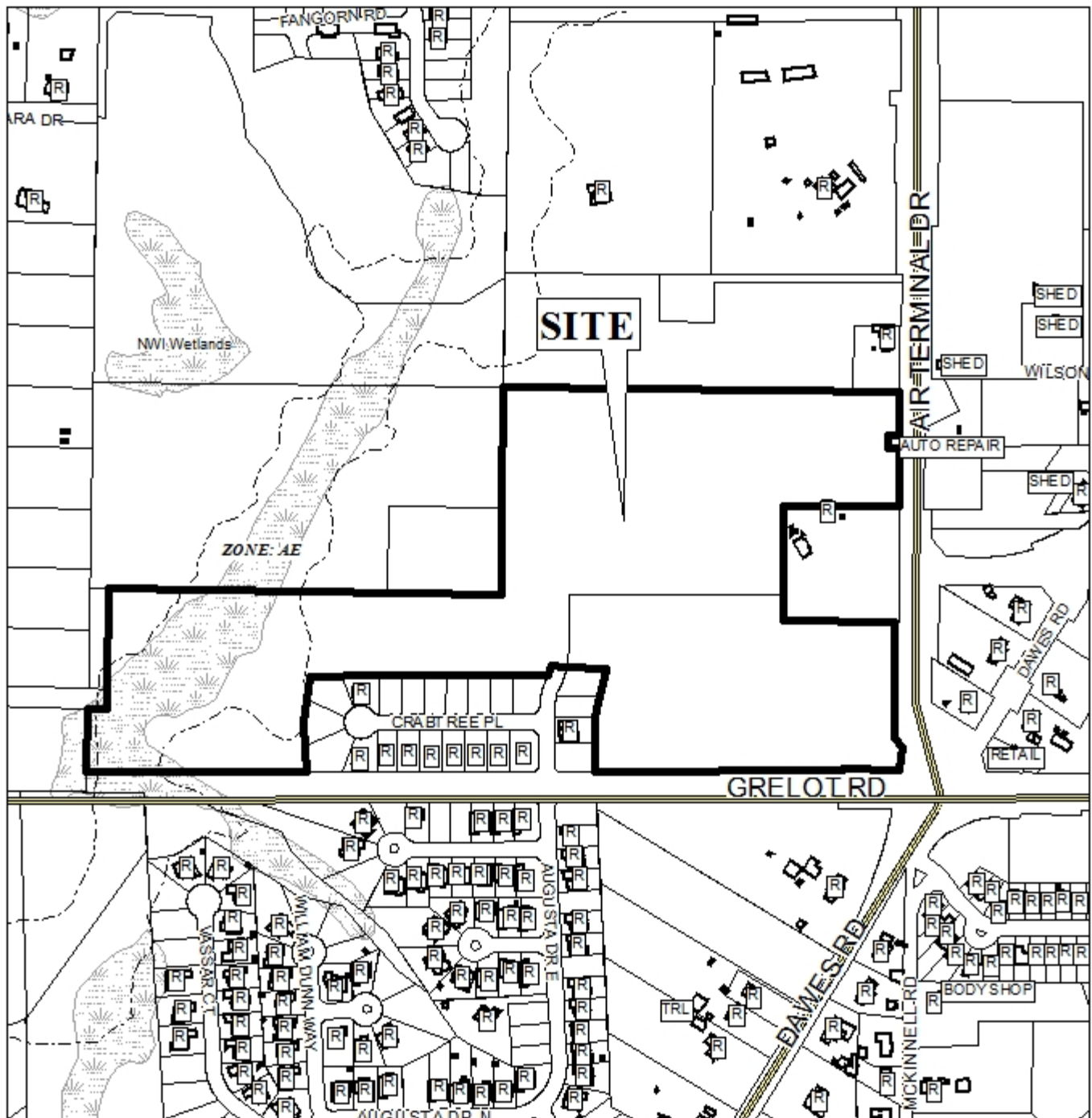
LOCATOR MAP



APPLICATION NUMBER 15 DATE June 6, 2013
APPLICANT Chesapeake Subdivision, Unit 1 & Unit 2
REQUEST Subdivision



CHESAPEAKE SUBDIVISION, UNIT 1 & UNIT 2



APPLICATION NUMBER 15 DATE June 6, 2013

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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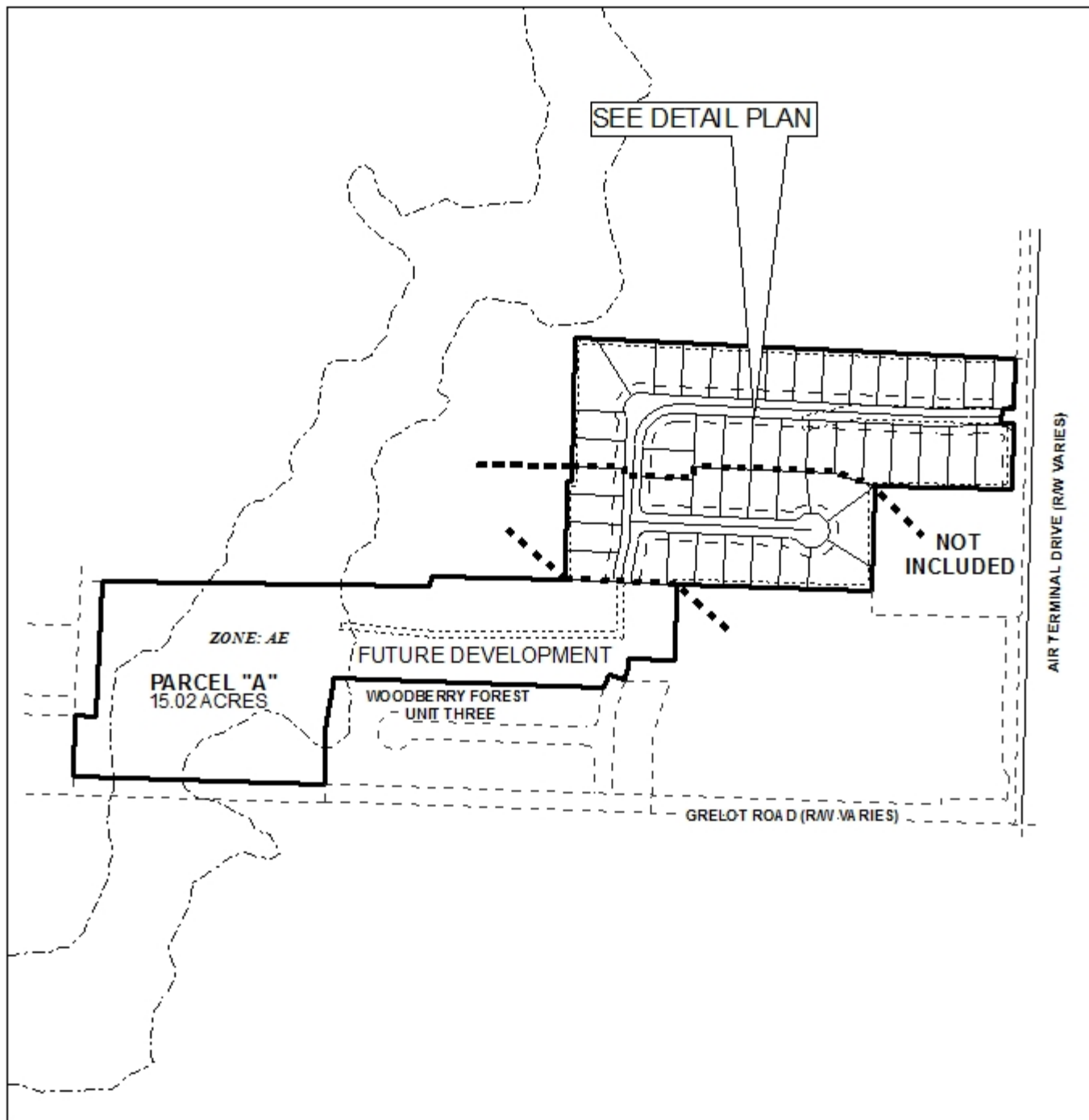
CHESAPEAKE SUBDIVISION, UNIT 1 & UNIT 2



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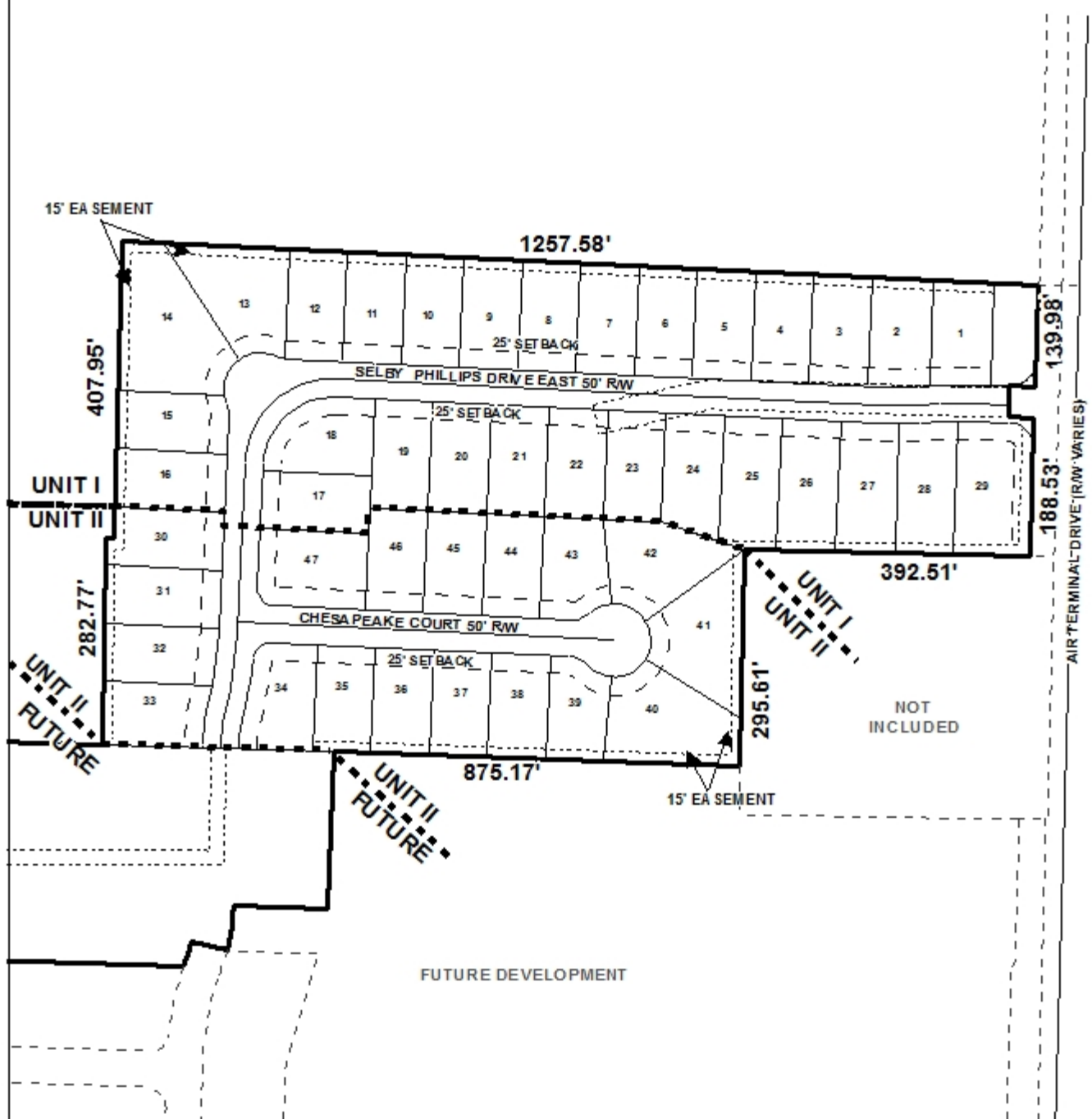
DETAIL SITE PLAN



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NTS

DETAIL SITE PLAN



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APPLICANT Chesapeake Subdivision, Unit 1 & Unit 2

REQUEST Subdivision

