

C AND C PLACE SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 3.0± acre, 2 lot subdivision located at 403 Dykes Road South, on the East side of Dykes Road South, at the East terminus of Turmac Drive. The site is served by public water and individual septic systems.

The purpose of the application is to subdivide an existing lot into two lots.

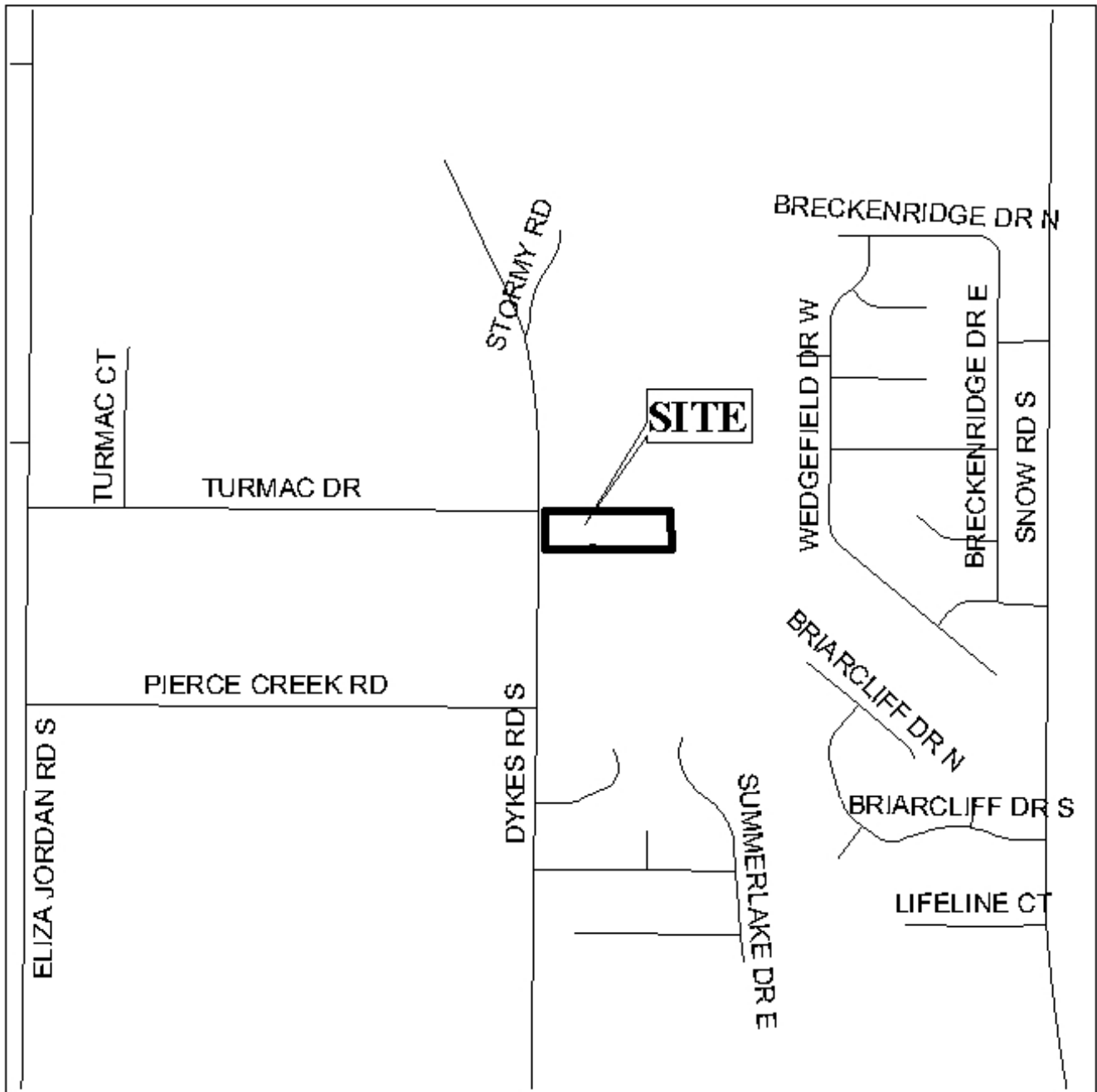
The site fronts Dykes Road South, which has a 60' right-of-way. While the proposed lots would meet the minimum lot dimension requirements, proposed Lot 2 would be flag-shaped. Section V.D.1. of the Subdivision Regulations states that "the size, width, depth, shape, and orientation of lots...shall be appropriate to the location of the subdivision." While not a desirable form of development, two other flag-shaped lots are in the vicinity of the site, so the shape may be considered appropriate to the location. However, a note should be required on the final plat stating that there will be no future subdivision of Lot 2, unless a dedicated and constructed County street is provided for access to Dykes Road.

As the site is situated on a lake and would be considered environmentally sensitive, approvals from federal, state, and local agencies will be required prior to the issuance of any permits.

The site is located in the County; thus any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the placement of a note on the final plat stating that there will be no future subdivision of Lot 2, unless a dedicated and constructed County street is provided for access to Dykes Road; 2) approval by all applicable federal, state, and local agencies prior to the issuance of any permits; and 3) the placement of a note on the final plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

LOCATOR MAP



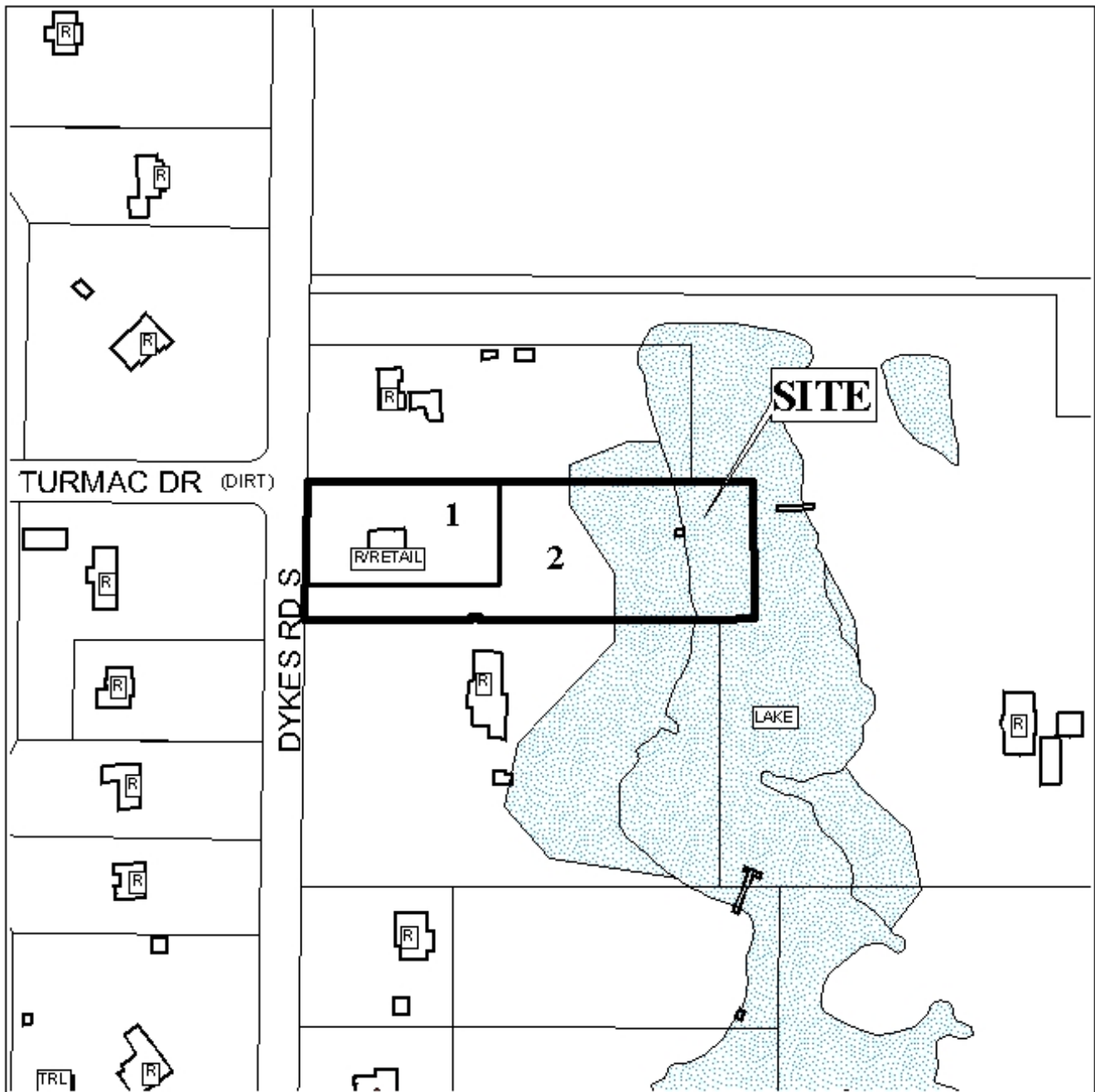
APPLICATION NUMBER 15 DATE May 19, 2005

APPLICANT C And C Place Subdivision

REQUEST Subdivision



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APPLICATION NUMBER 15 DATE May 19, 2005

LEGEND

