

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: May 3, 2007****DEVELOPMENT NAME**

Louise Place Subdivision

SUBDIVISION NAME

Louise Place Subdivision

LOCATION

1156 Louise Avenue
(South terminus of Louise Avenue, extending East to
McNeill Avenue and South to Gulver Street [unopened,
prescriptive right-of-way])

**CITY COUNCIL
DISTRICT**

District 6

AREA OF PROPERTY

26 lots / 5.8 ± acres

CONTEMPLATED USE

Single-family residences with reduced lot sizes, reduced frontage on streets, reduced front yard setbacks (15 feet), reduced side yard setbacks (5 feet), and increased site coverage (45%).

**TIME SCHEDULE
FOR DEVELOPMENT**

Home construction to begin upon acceptance of streets by the City of Mobile.

ENGINEERING**COMMENTS**

Show sanitary sewer easement on the south side of the subdivision near the detention pond. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS

The applicant is seeking Subdivision and Planned Unit Development approval to allow the development of a 26-lot subdivision of single-family residences with reduced lot sizes, reduced frontage on streets, reduced front yard setbacks (15 feet), reduced side yard setbacks (5 feet), and increased site coverage (45%). Rear setbacks are proposed to remain at 8 feet. The site is located in Council District 6, and according to the applicant is served by public water and sanitary sewer.

The bulk of the site has been the subject of several Subdivision and PUD applications, the most recent of which were approved on August 17, 2006 by the Planning Commission. The conditions associated with the most recent approvals are as follows:

Subdivision

- 1) compliance with Engineering comments (The applicant's engineer will be required to resubmit all drainage calculations to account for the proposed increased impervious area. The vacation process must be complete prior to issuance of the Land Disturbance permit. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands.)
- 2) construction and dedication of the new streets to City Engineering standards;
- 3) completion of the right-of-way vacation process;
- 4) revision of the legal description to reflect previous plat revisions, and any disparities in the transfer of vacated right-of-way from what is shown on the preliminary plat;
- 5) the placement of a note on the final plat stating that the site is limited to a single curb cut per lot;
- 6) the depiction of the 15-foot building setbacks along Louise Avenue; and
- 7) the placement of a note on the final plat stating that common area maintenance will be property owners' responsibility.

And additionally from the PUD:

- 5) full compliance with all municipal codes and ordinances.

The applications under consideration differ from those approved at the August 2006 meeting in that it covers a larger area (5.8 acres \pm versus 4.7 acres \pm), and proposes a greater number of lots (26 versus 19 lots). The proposed site coverage (45%), reduced front (15 feet) and side (5 feet) yard setbacks remain the same for the current applications.

Since the approval in 2006, the applicant has successfully vacated Gulver Street and McMurray Street, between McNeil Avenue and Schaub Avenue. It is unclear if additional portions of Louise Avenue will require vacation for the proposed subdivision, however, any required vacation should be completed prior to the recording of the final plat. Streets that have already been vacated can have their respective labels removed from the subdivision plat and site plan.

The site fronts Louise Avenue, a 40-foot unopened right-of-way. This is substandard in width, however the previous approval from the Planning Commission only required the construction and dedication of new streets to City Engineering standards. It is recommended that this current application be subject to the same condition of the previous approval.

Access management is a concern due to the fact that portions of the site abut the right-of-way for Schaub Avenue and McNeill Avenue. It is recommended that access to each street be denied for the development. As each lot within the development is generally less than the standard width required by the Subdivision Regulations, it is recommended that each lot be limited to one curb-

cut, with the size, design and location to be approved by Traffic Engineering, and conform to AASHTO standards.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

The surrounding area is an older subdivision (Pinehurst), in which smaller lot sizes are characteristic, and many resubdivisions in Pinehurst have been approved with reduced lot dimensions and setbacks and increased site coverage. In fact, many (though not all) of the proposed lots are larger than the typical lots along Louise Avenue, most of which are 5000 square feet. The smallest lot within the proposed development appears to be 4,989 square feet \pm . Similarly the proposed reduced lot widths and front and side setbacks are typical conditions in the neighborhood. Regarding the setbacks, the plat and site plan should be revised so that proposed Lots 2 and 19 show 15-foot setbacks along their Louise Street and Louise Place frontages. The plat and site plan should also be revised to depict the proposed minimum front yard setback of 15 feet. The notes on the plat and site plan stating the PUD information should be retained on the final drawings, if approved.

Common and detention areas are shown on the plat and should be labeled on the final plat and site plan and accompanied by a note stating that maintenance of all common areas will be property owners' responsibility.

Finally, the plat and site plan should be revised so that each lot is labeled with its size in square feet, or a table should be provided on the drawings with the same information.

RECOMMENDATION

Subdivision: With a waiver of Sections V.D.2. and V.D.9., this application is recommended for Tentative Approval, subject to the following conditions:

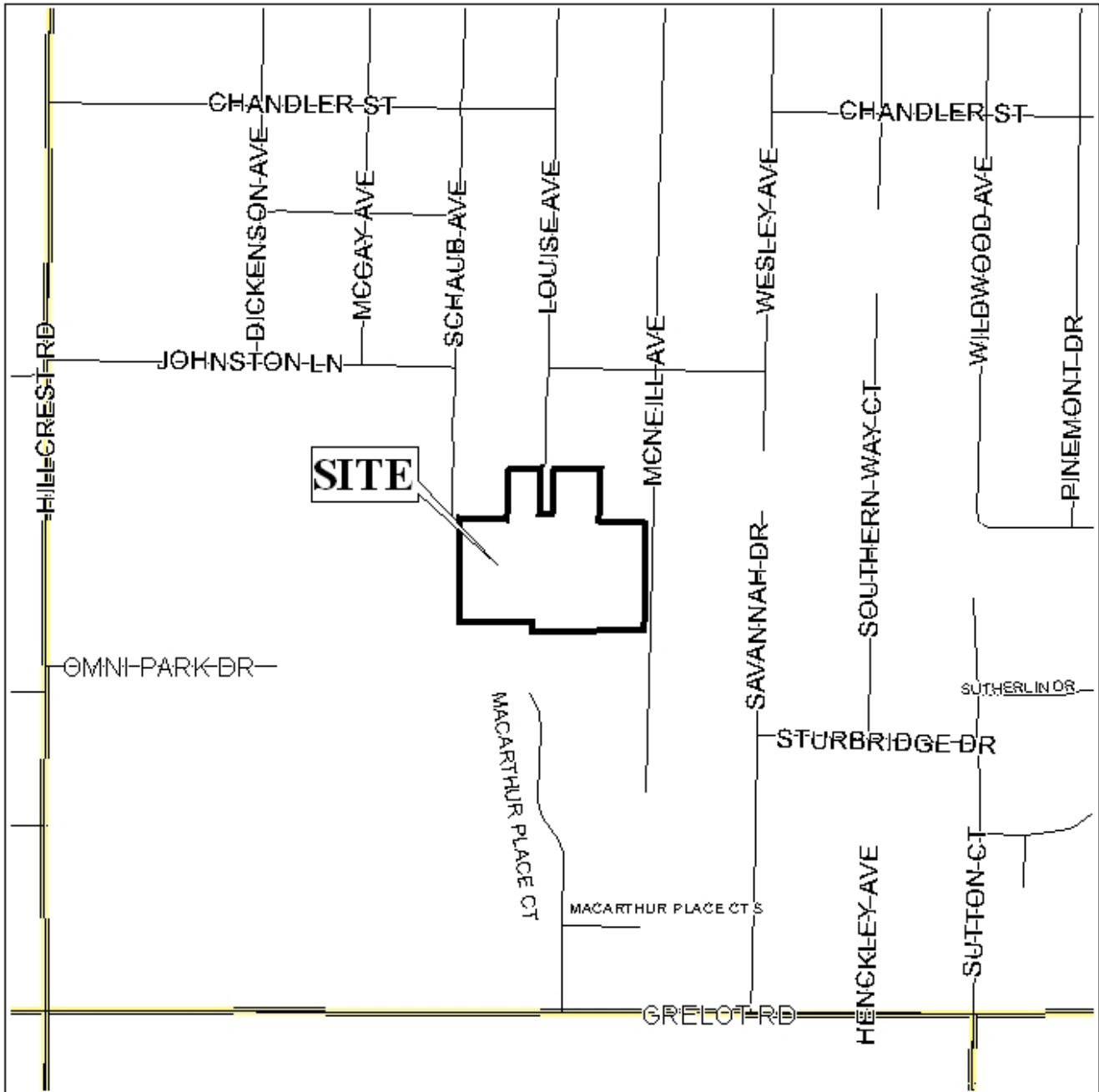
- 1) compliance with Engineering comments (*Show sanitary sewer easement on the south side of the subdivision near the detention pond. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*)
- 2) construction and dedication of the new streets to City Engineering standards;
- 3) completion of the right-of-way vacation process for any remaining streets, if necessary;
- 4) revision of the legal description, if necessary, to reflect any disparities in the transfer of vacated right-of-way from what is shown on the preliminary plat;
- 5) placement of a note on the final plat stating that the site is limited to a single curb-cut per lot, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform with AASHTO standards;

- 6) placement of a note on the final plat stating that the site is denied access to Schaub and McNeill Avenues;
- 7) depiction of the minimum 15-foot building setback line along all lots fronting Louise Avenue and Louise Place (including the street-side side-yard setback for Lots 2 and 19);
- 8) placement of a note on the final plat stating that common area maintenance will be property owners' responsibility.
- 9) labeling of each lot with its size in square feet, or provision of a table on the plat with the same information;
- 10) placement of the PUD front, side and rear yard setback and site coverage information on the final plat, as shown on the preliminary plat;
- 11) provision of a revised PUD site plan to the Planning Section of Urban Development prior to the signing of the final plat; and
- 12) full compliance with all other municipal codes and ordinances.

Planned Unit Development: Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) completion of the Subdivision process;
- 2) compliance with Engineering comments (*Show sanitary sewer easement on the south side of the subdivision near the detention pond. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*)
- 2) construction and dedication of the new streets to City Engineering standards;
- 3) completion of the right-of-way vacation process for any remaining streets, if necessary;
- 4) revision of the legal description, if necessary, to reflect any disparities in the transfer of vacated right-of-way from what is shown on the site plan;
- 5) placement of a note on the site plan stating that the site is limited to a single curb-cut per lot, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform with AASHTO standards;
- 6) placement of a note on the site plan stating that the site is denied access to Schaub and McNeill Avenues;
- 7) depiction of the minimum 15-foot building setback line along all lots fronting Louise Avenue and Louise Place (including the street-side side-yard setback for Lots 2 and 19);
- 8) placement of a note on the site plan stating that common area maintenance will be property owners' responsibility;
- 9) labeling of each lot with its size in square feet, or provision of a table on the site plan with the same information;
- 10) placement of the PUD front, side and rear yard setback and site coverage information on the final site plan, as shown on the preliminary site plan;
- 11) provision of a revised PUD site plan to the Planning Section of Urban Development prior to the signing of the Subdivision final plat; and
- 12) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 15 & 16 DATE May 3, 2007

APPLICANT Louise Place Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



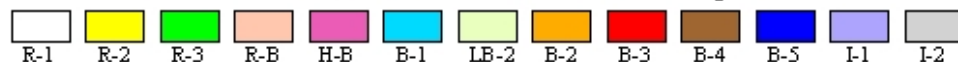
The site is surrounded by single-family residential units.
An office complex is located to the southwest of the site.

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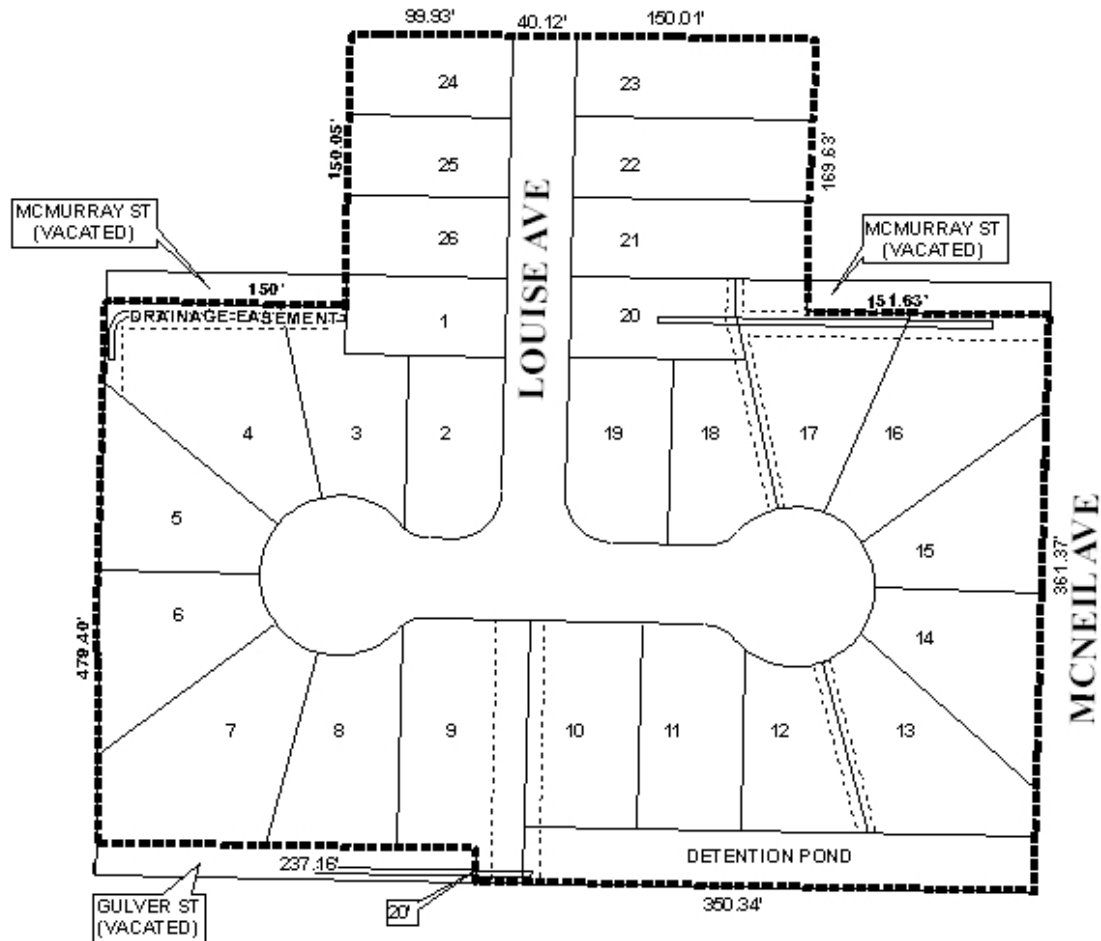
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LEGEND



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SITE PLAN



The site plan illustrates the proposed development

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