

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: June 15, 2006**

DEVELOPMENT NAME Grant Park Subdivision, Resubdivision of Lots 47 & 48

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LOCATION West side of Grant Park Drive, 75' + South of Grant Street

**CITY COUNCIL
DISTRICT** District 5

PRESENT ZONING R-3, Multiple-Family Residence District

AREA OF PROPERTY 1 lot / 0.2 acre \pm

CONTEMPLATED USE 1-lot, residential subdivision, and Planned Unit Development Approval to amend a previously approved Planned Unit Development Approval to allow reduced lot sizes, reduced building setbacks, and increased site coverage in a residential subdivision.

**TIME SCHEDULE
FOR DEVELOPMENT** Immediately

**ENGINEERING
COMMENTS** Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands.

**TRAFFIC ENGINEERING
COMMENTS** Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS**

All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G, as adopted by the City of Mobile on July 6, 2004. All One- or Two-Family residential developments shall comply with Appendices B, C, and D of the 2003 International Fire Code, as adopted by the City of Mobile on July 6, 2004.

REMARKS

The applicant is requesting Subdivision approval to create one lot from two existing lots, and Planned Unit Development Approval to amend a previously approved Planned Unit Development Approval to allow reduced lot sizes, reduced building setbacks, and increased site coverage in a residential subdivision.

The site is located in the Grant Street Patio Homes development, a PUD and subdivision that was originally approved by the Planning Commission at its August 7, 2000 meeting. The following conditions were placed on the PUD approval:

- 1) that the maximum site coverage of 45% be maintained for the overall site (less right-of-way) instead of for individual lots;
- 2) common areas to be maintained by the property owners;
- 3) provision of traffic calming devices, as recommended by the Traffic Engineering Department;
- 4) full compliance with all municipal codes and ordinances;
- 5) one over-story tree to be planted within the 25' frontage of each residential lot along the city street;
- 6) developer to obtain services of a licensed Arborist to determine if large (30"±) oak tree near West property line poses a threat; and if so, developer to be responsible for all aspects of removal.

The Subdivision was approved with conditions essentially identical to numbers 1, 2, 5 and 6 listed above.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant desires to amend the existing PUD to allow 45% site coverage on the lot that will be created by the accompanying subdivision, rather than relying on the 45% site coverage for the overall Grant Park development. The existing PUD allows individual sites to have coverage exceeding 45%, if the overall development balances out to an average of 45% site coverage (some homes may be restricted to less than 45% site coverage to comply with the average site coverage limitation). It should be noted that 45% site coverage is allowed by right in R-3 districts.

The existing PUD allows a 15-foot front yard setback, 0-foot South side yard setback, 5-foot North side yard setback, and an 8-foot rear yard setback. These setbacks are graphically depicted on the preliminary plat and proposed site plan, however, they should also be noted in writing on the preliminary plat and proposed site plan, to ensure conformance with the existing PUD.

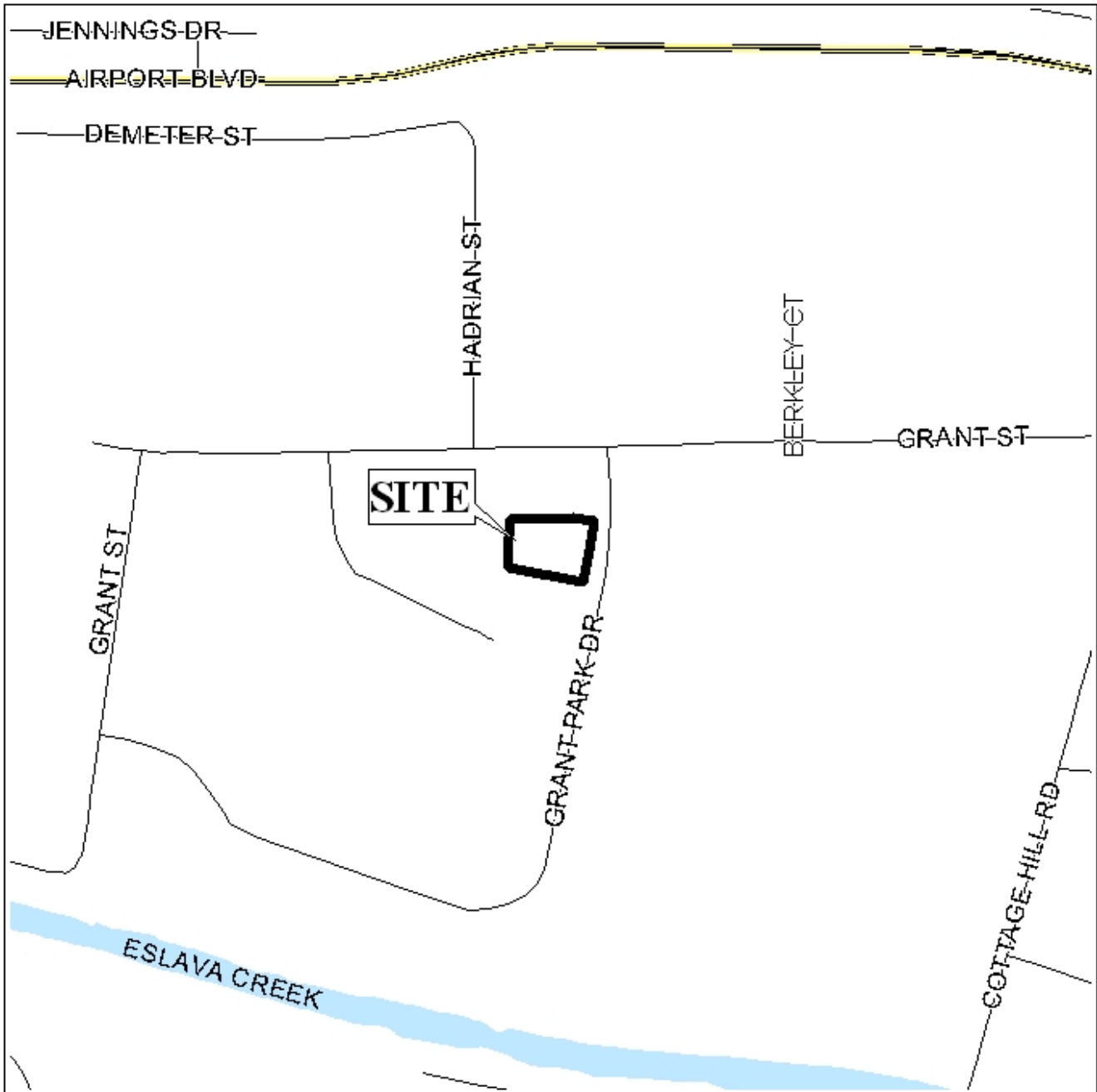
The applicant also proposes to combine two existing lots into one 9,528 square foot lot. Lot widths within the subdivision vary, thus the proposed lot would not be inconsistent or incompatible with the remaining lots. It should be noted that the proposed PUD site coverage amendment for this new lot would allow development with a total ground floor area of 4,287 square feet.

The requirement for one over-story tree to be planted within the 25' frontage of each residential lot along the city street should be modified for this site, as it will combine two existing lots into one lot, and to ensure consistency with the remainder of the PUD. It is recommended that the new requirement for this site be that two over-story trees be planted within the 25-foot frontage of the lot along the city street.

RECOMMENDATION: **Planned Unit Development:** Based on the preceding, the PUD application is recommended for Approval, subject to the following conditions: 1) completion of the Subdivision process; 2) placement of a note on the plat / site plan specifying the front, side and rear yard setbacks, to comply with the original PUD and Subdivision; 3) placement of a note on the site plan and plat stating that the site is limited to a maximum 45% site coverage; 4) placement of a note on the site plan and plat stating that common areas are to be maintained by the property owners; 5) placement of a note on the site plan and plat stating that two over-story trees are to be planted within the 25-foot frontage of the lot along the city street; and 6) full compliance with all municipal codes and ordinances.

Subdivision: Based on the preceding, the plat is recommended for Tentative Approval, subject to the following conditions: 1) placement of a note on the plat / site plan specifying the front, side and rear yard setbacks, to comply with the original PUD and Subdivision; 2) placement of a note on the site plan and plat stating that the site is limited to a maximum 45% site coverage; 3) placement of a note on the site plan and plat stating that common areas are to be maintained by the property owners; 4) placement of a note on the site plan and plat stating that two over-story trees are to be planted within the 25-foot frontage of the lot along the city street; and 5) full compliance with all municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 15 & 16 DATE June 15, 2006

APPLICANT Grant Park Subdivision, Resubdivision of Lots 47 & 48

REQUEST Planned Unit Development, Subdivision



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single-family residential units.
An apartment complex is located to the west of the site.

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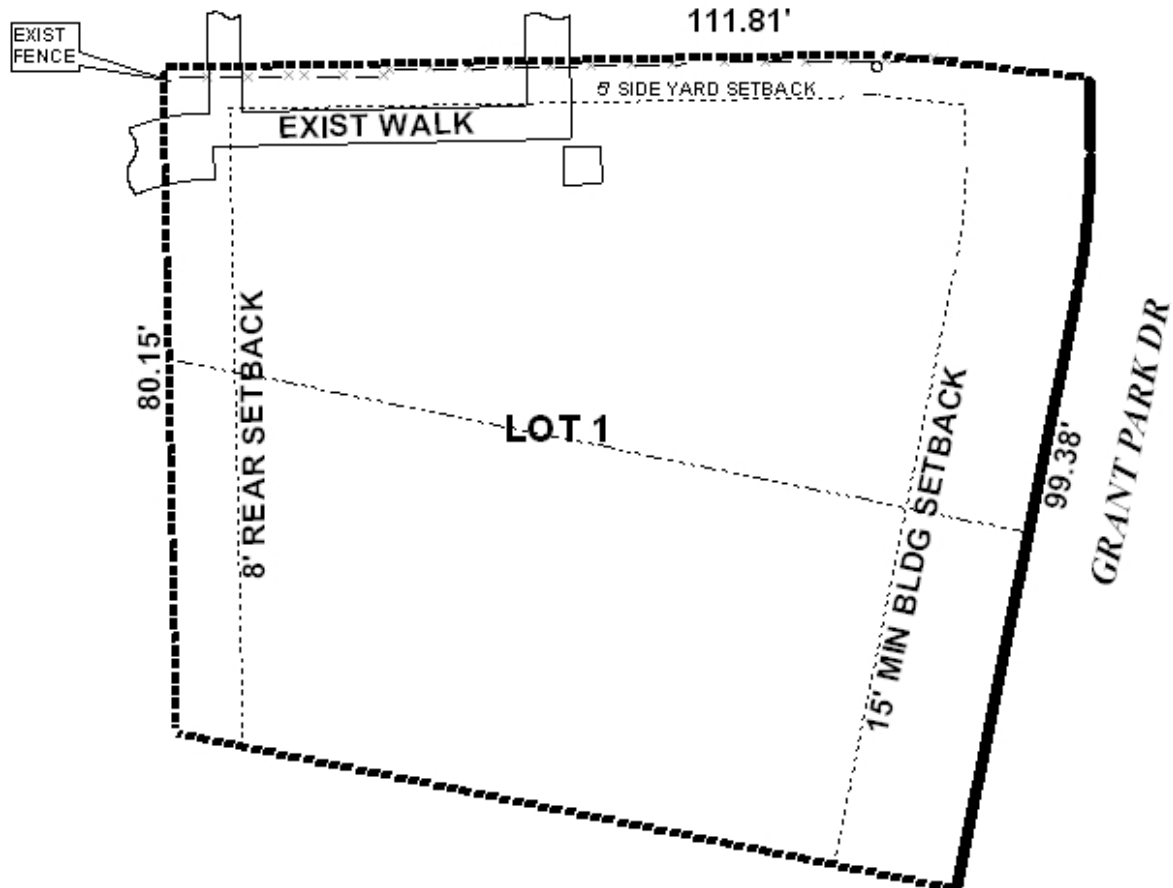
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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SITE PLAN



The site plan illustrates the existing walk, setbacks, and proposed lot configuration

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