

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: September 7, 2006**

**DEVELOPMENT NAME** Cottage Hill Executive Park Subdivision, Resubdivision of  
Lots 5, 6 & 7

**SUBDIVISION NAME** Cottage Hill Executive Park Subdivision, Resubdivision of  
Lots 5, 6 & 7

**LOCATION** 704 and 708 Oak Circle Drive West  
(Northwest corner of Oak Circle Drive West and Oak  
Circle Drive North)

**CITY COUNCIL  
DISTRICT** District 5

**PRESENT ZONING** B-2, Neighborhood Business District

**AREA OF PROPERTY** 1 Lot / 1.2± Acres

**CONTEMPLATED USE** Subdivision approval to combine three existing lots into  
one lot, and Planned Unit Development approval to allow an existing office building, two new  
portable buildings, and three existing storage sheds on a single building site.

**TIME SCHEDULE  
FOR DEVELOPMENT** Immediate

**ENGINEERING  
COMMENTS** Must comply with all stormwater and flood control  
ordinances. Any work performed in the right of way will require a right of way permit. The  
applicant is responsible for verifying if the site contains wetlands. The site can be checked  
against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site  
is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of  
regulatory wetlands.

**TRAFFIC ENGINEERING  
COMMENTS** Driveway number, size, location, and design to be  
approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY  
COMMENTS** Property to be developed in compliance with state and local  
laws that pertain to tree preservation and protection on both city and private properties (State Act  
61-929 and City Code Chapters 57 and 64).

Full compliance with landscaping and tree requirements of the Zoning Ordinance for the new parking lot; compliance to be coordinated with Urban Forestry.

**FIRE DEPARTMENT**  
**COMMENTS**

No comments.

**REMARKS**

The applicant requests Subdivision approval to combine three existing lots into one lot, and Planned Unit Development approval to allow an existing office building, two new portable storage buildings, and three existing storage sheds on a single building site. The applicant also proposes to expand the existing parking area to provide an additional 39 parking spaces.

It should be noted that the site plan does not appear to accurately depict all existing parking areas and curb-cuts. The site plan should be revised to depict any existing parking areas and curb-cuts that the applicant intends to retain, as well as the proposed new parking area and storage sheds.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan will require Planning Commission approval.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site fronts Oak Circle Drive West, a minor street with adequate right-of-way. Malibar Drive, which stubs into the West side of the site, is a minor street with adequate right-of-way. Although Oak Circle Drive West and Malibar Drive are minor streets, access management is a concern. It is recommended that the site be limited to a maximum of two curb-cuts onto Oak Circle Drive, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards (for new construction). Access to and from Malibar Drive should be denied. It should be noted that the curb-cut that will be used to access the main parking area is offset from the main traffic path within the parking area, thus creating an access concern. It is recommended that the existing curb-cut be removed and a new one built that provides a more direct path into the existing parking area that links to the proposed parking area.

The site is bounded to the North, East and South by other compatible commercial or governmental uses in a B-2 district. West of the site are single-family residences in an R-1, Single-Family Residential District. Due to the adjacent residential development, a protection

buffer in conformance with Section 64-4.D. of the Zoning Ordinance is required. The required protection buffer may be a 10-foot wide planting strip or a six (6) feet high privacy fence (except for the portion of the fence within the 25-foot setback line, which can only be 3-feet tall). The site plan should be revised to depict the required protection buffer.

The applicant proposes to create 39 new parking spaces on the site. The proposed parking area is oddly shaped due to the proposed lot shape and multiple existing trees of substantial size on the site. Five of the proposed parking spaces are depicted as parallel parking, however, the Zoning Ordinance does not provide standards for parallel parking, thus they would not be allowed to count towards any required parking without a parking variance from the Board of Adjustment.

The applicant proposes a total of five storage sheds on the property: two will be new, while the other three are already on the site. Portable storage buildings are allowed if they conform with all applicable setbacks, and if they meet building code requirements.

As the proposed new parking area will be adjacent to existing residences, the applicant should ensure that any lighting provided on the site will comply with the Zoning Ordinance requirement that states that lighting *"shall be so arranged that the source of light does not shine directly into adjacent residential properties or into traffic."* A note should be placed on the PUD site plan reflecting the Zoning Ordinance lighting requirement.

Finally, a dumpster pad is depicted on the site plan. The applicant should ensure that the location and required screening around the dumpster pad meets the requirements of Section 64-4.D.9. of the Zoning Ordinance, as well as with all other applicable regulations.

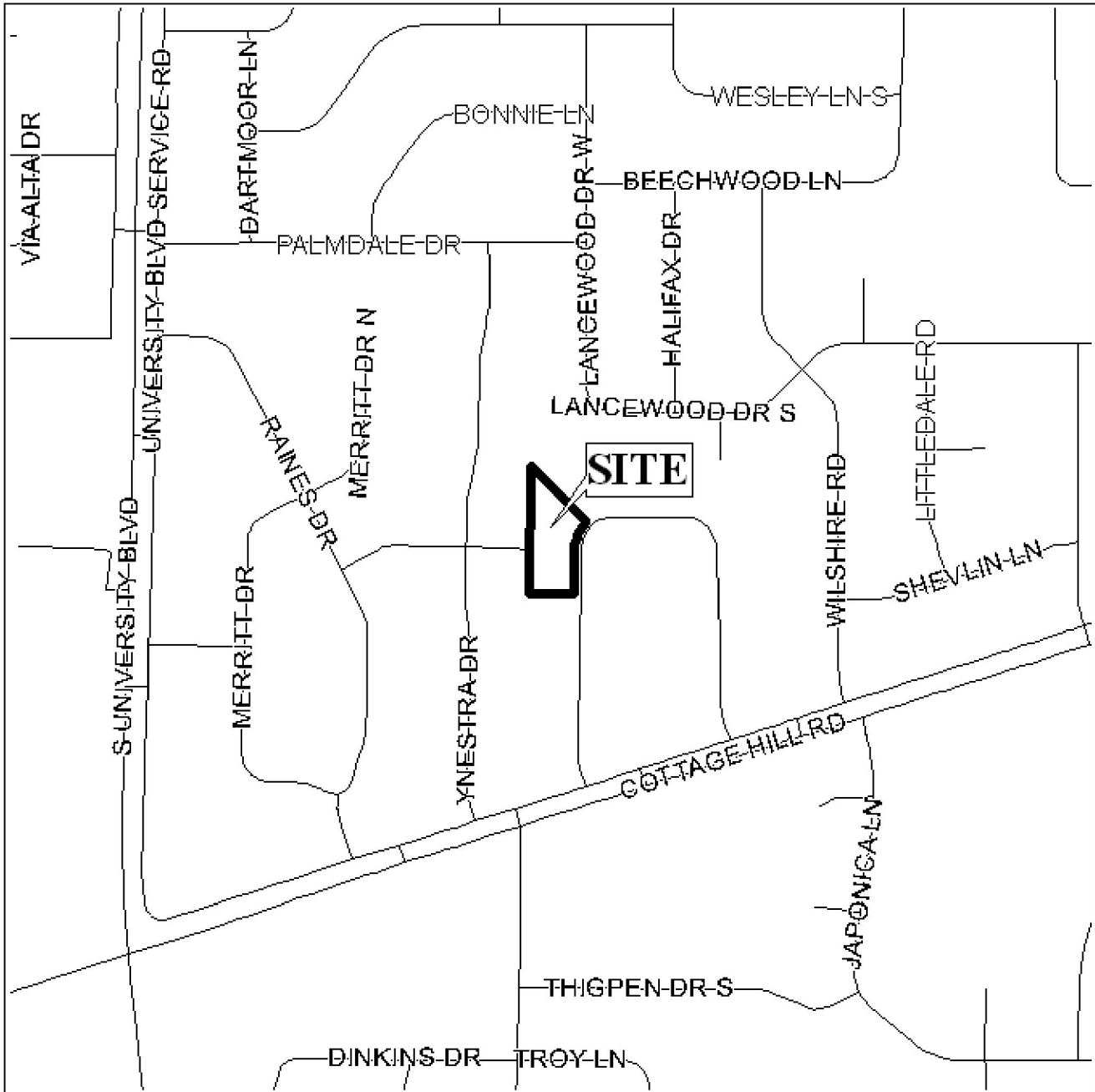
## **RECOMMENDATION**

**Subdivision:** Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions: 1) placement of a note on the final plat and site plan stating that the site is limited to a maximum of two curb-cuts onto Oak Circle Drive West, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards (for new construction), and that access to Malibar Drive is denied; 2) placement of a note on the plat and site plan stating that all structures, including portable storage sheds, must meet setback requirements; 3) depiction of the size of the lot in square feet on the final plat; 4) provision of a revised PUD site plan prior to the recording of the final plat; and 5) full compliance with all other municipal codes and ordinances.

**Planned Unit Development:** Based on the preceding, this application is recommended for Approval, subject to the following conditions: 1) revision of the site plan to depict any existing parking areas and curb-cuts that the applicant intends to retain (including the removal of an existing curb-cut and the provision of a new curb-cut for the main parking area), as well as the proposed new parking area and storage sheds; 2) placement of a note on the final plat and site plan stating that the site is limited to a maximum of two curb-cuts onto Oak Circle Drive West, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards (for new construction), and that access to Malibar Drive is denied; 3)

placement of a note on the plat and site plan stating that all structures, including portable storage sheds, must meet setback requirements; 4) depiction and provision of a protection buffer in conformance with Section 64-4.D. of the Zoning Ordinance; 5) placement of a note on the plat and site plan stating that all structures, including portable storage sheds, must meet setback requirements; 6) placement of a note on the site plan stating that lighting shall be so arranged that the source of light does not shine directly into adjacent residential properties or into traffic, in conformance with Section 64-4.A.2. of the Zoning Ordinance; 7) compliance with the location and screening requirements of Section 64-4.D.9. of the Zoning Ordinance for the dumpster pad; 8) placement of a note on the site plan stating that PUD approval is site plan specific, and that any changes to the site plan will require Planning Commission review and approval; 9) provision of a revised PUD site plan to the Planning Section of Urban Development prior to recording the final plat; 10) completion of the subdivision process; and 11) full compliance with all other municipal codes and ordinances.

## LOCATOR MAP



APPLICATION NUMBER 15 & 16 DATE August 17, 2006

APPLICANT Cottage Hill Executive Park Subdivision, Resubdivision of Lots 5, 6, & 7

REQUEST Subdivision, Planned Unit Development



NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residential units are to the west of the site.  
Offices are to the south and east of the site. A daycare,  
contractor, and office are to the north of the site.

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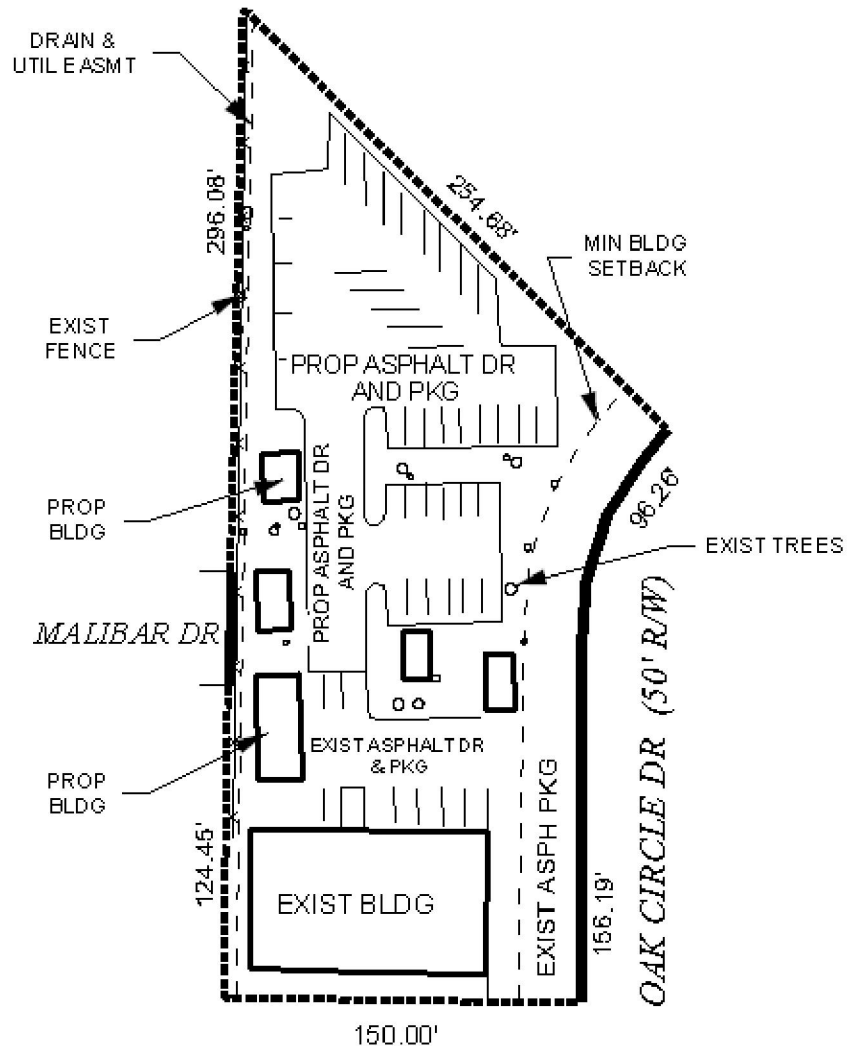
REQUEST Subdivision, Planned Unit Development

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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# SITE PLAN



The site plan illustrates existing buildings, parking, easements, and proposed parking and buildings.

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NTS