

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: May 1, 2014****DEVELOPMENT NAME**

Battlehouse Parking Deck Two Subdivision

SUBDIVISION NAME

Battlehouse Parking Deck Two Subdivision

LOCATION

10 North Royal Street
(Northeast corner of North Royal Street and Dauphin Street
extending to the Southwest corner of North Water Street
and St Francis Street)

**CITY COUNCIL
DISTRICT**

District 2

AREA OF PROPERTY

2 Lots / 3.5 ± acres

CONTEMPLATED USE

Planned Unit Development Approval to allow two
buildings on a single building site and to allow cross access between two lots, and Subdivision
approval to create 2 lots.

**TIME SCHEDULE
FOR DEVELOPMENT**

To commence upon approvals

**ENGINEERING
COMMENTS****Subdivision**

The following comments should be addressed prior to acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances).
- B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention will be required for any increase in impervious area on LOT 1A or LOT 1B.
- C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- D. Check the written legal description and/or bearing and distance labels on lines 11, 16, 19, and 35 of the written description.
- E. Show and label all flood zones.
- F. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, X (shaded) flood zone designation.

- G. Provide and label the monument set or found at each subdivision corner.
- H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- I. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.

Planned Unit Development

- 1) Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2) Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 3) According to the FEMA flood map information, this property is located within a Special Flood Hazard Area. You will need to show and label the flood hazard area(s) on your plat and plans. Also, you will need to list the Minimum Finished Floor Elevation (MFFE) for each LOT.
- 4) Add a note to the PUD Plan stating that the proposed development must comply with all Engineering Department Policy Letters:
 - a. 5-13-2009 Policy Letter(Car wash drains and dumpster pads to drain to Sanitary Sewer System)

TRAFFIC ENGINEERING**COMMENTS**

All new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is seeking Planned Unit Development Approval to allow two buildings on a single building site and to allow cross access between two lots, and Subdivision approval to create 2 lots. The site is located in Council District 2, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is two-fold: 1) to create one legal lot from several metes and bounds parcels, and as part of the new lot creation, modify the common boundary on an existing adjacent lot; and 2) create a PUD to allow two buildings on a single building site (the newly created lot) and to allow cross access between two lots. The applicant proposes to build a 6 level, 375 ± parking space parking deck with ground floor retail/restaurant uses, with a bank and restaurant drive through.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is zoned B-4, General Business District, thus the proposed uses are allowed by right.

The site fronts onto four streets: North Royal Street, Dauphin Street, St. Francis Street, and North Water Street. All abutting streets, including North Water Street, a component of the Major Street Plan, have compliant right-of-way widths, thus no dedication will be required.

Regarding access management, proposed Lot 1A is developed with the existing Battle House and RSA Tower. Lot 1A has three existing curb-cuts onto St. Francis Street, two onto North Water Street, two onto Dauphin Street, and no curb-cuts onto North Royal Street: Lot 1A should be limited to its existing curb-cuts. For proposed Lot 1B, to contain the new parking deck, the applicant proposes one curb-cut to North Royal Street and two curb-cuts to Dauphin Street. Therefore, Lot 1B should be limited to the curb-cuts as proposed, and as depicted on the PUD site plan. The size, design and location of all new or modified curb-cuts are to be approved by Traffic Engineering and comply with AASHTO standards.

Typically a corner radius would be required for proposed Lot 1B at the Dauphin/Royal Street intersection; however, an existing building that will remain makes such dedication at this time impracticable. It is recommended that the Commission waive Section V.D.6. of the Subdivision Regulations regarding the corner radius.

It should also be pointed out that the 25-foot setback required by Section V.D.9. of the Subdivision Regulations is superseded in this zoning district, as no setbacks are required in a B-4 district. Thus the setback requirement should be waived.

The proposed parking deck will not allow for much if any level of tree and landscape compliance on proposed Lot 1B. As the site is located in a B-4 district, which allows for a 100% site coverage, the on-site compliance requirement of Section 64-4.E. of the Zoning Ordinance should be waived. However, the applicant should coordinate with Urban Forestry to maintain existing street trees that will remain and, if possible, provide new street trees if there is an opportunity with the new construction.

Access to the main parking levels of the proposed parking deck will be from an existing curb-cut and driveway located on Lot 1A. The existing driveway will be modified to link to the second level of the parking deck. It should be noted that there will be no vehicular circulation between the first level of the parking deck and the upper levels.

The proposed restaurant drive-through from the North Royal Street entrance appears to only have a queuing distance of approximately 36 feet: the Zoning Ordinance requires a minimum of 51 feet. The proposed bank drive-through from the Dauphin Street entrance appears to exceed the minimum queuing distance requirement. The Commission may wish to consider waiving the 51 foot requirement of Section 64-4.F. of the Zoning Ordinance for the proposed restaurant drive-through due to the unique urban nature of this site, subject to Traffic Engineering approval.

Some tree and landscape modification on Lot 1A will occur in order to accommodate the connection between the second level of the parking deck and the existing driveway. Any tree removal or tree relocation on Lot 1A should be coordinated with Urban Forestry, and any landscape plans submitted for driveway modification should include a tree and landscape plan for Urban Forestry review.

The entire site is located in an AE flood zone associated with the Mobile River. Any new construction must comply with local, state and federal laws regarding development within a flood zone.

No dumpster is depicted on the site plan. If a dumpster is proposed, it should be depicted on the site plan, or a statement should be provided indicating how waste will be serviced for the new retail/restaurant and bank uses.

Any new lighting on the site must comply with the requirements of the Zoning Ordinance, including the photometric requirements of Section 64-6.A.

Finally, it should be pointed out that Lot 1A is located within the Lower Dauphin Street Historic District. Any work on this lot will require approval by the Architectural Review Board / Mobile Historic Development Commission.

RECOMMENDATION

Subdivision: Based upon the preceding, and with waivers of Section V.D.6. and V.D.9. of the Subdivision Regulations, this application is recommended for tentative approval, subject to the following conditions:

- 1) Compliance with Engineering comments (*The following comments should be addressed prior to acceptance and signature by the City Engineer: A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification*

- statements, written legal description, required notes, legend, scale, bearings and distances). B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention will be required for any increase in impervious area on LOT 1A or LOT 1B. C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. D. Check the written legal description and/or bearing and distance labels on lines 11, 16, 19, and 35 of the written description. E. Show and label all flood zones. F. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, X (shaded) flood zone designation. G. Provide and label the monument set or found at each subdivision corner. H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. I. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.);*
- 2) Compliance with Traffic Engineering comments (*All new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
 - 3) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
 - 4) Compliance with Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
 - 5) Placement of a note on the final plat stating that Lot 1A is limited to its existing curb-cuts, and that Lot 1B is limited to one curb-cut to North Royal Street, and two curb-cuts to Dauphin Street, with the size, design and location of all curb-cuts to be approved by Traffic Engineering, and to comply with AASHTO standards;
 - 6) Placement of a note on the final plat stating that new construction must comply with local, state and federal laws regarding development within a flood zone;
 - 7) Coordination of any tree removal or tree relocation on Lot 1A with Urban Forestry;
 - 8) Provision of a tree and landscape plan, with site development permit applications, for that portion of Lot 1A that will be impacted by the proposed driveway modifications for Urban Forestry review;
 - 9) Coordination with Urban Forestry to maintain street trees that will remain and, if possible, provide new street trees if there is an opportunity with the new construction; and
 - 10) Provision of a revised PUD site plan prior to the signing of the final plat.

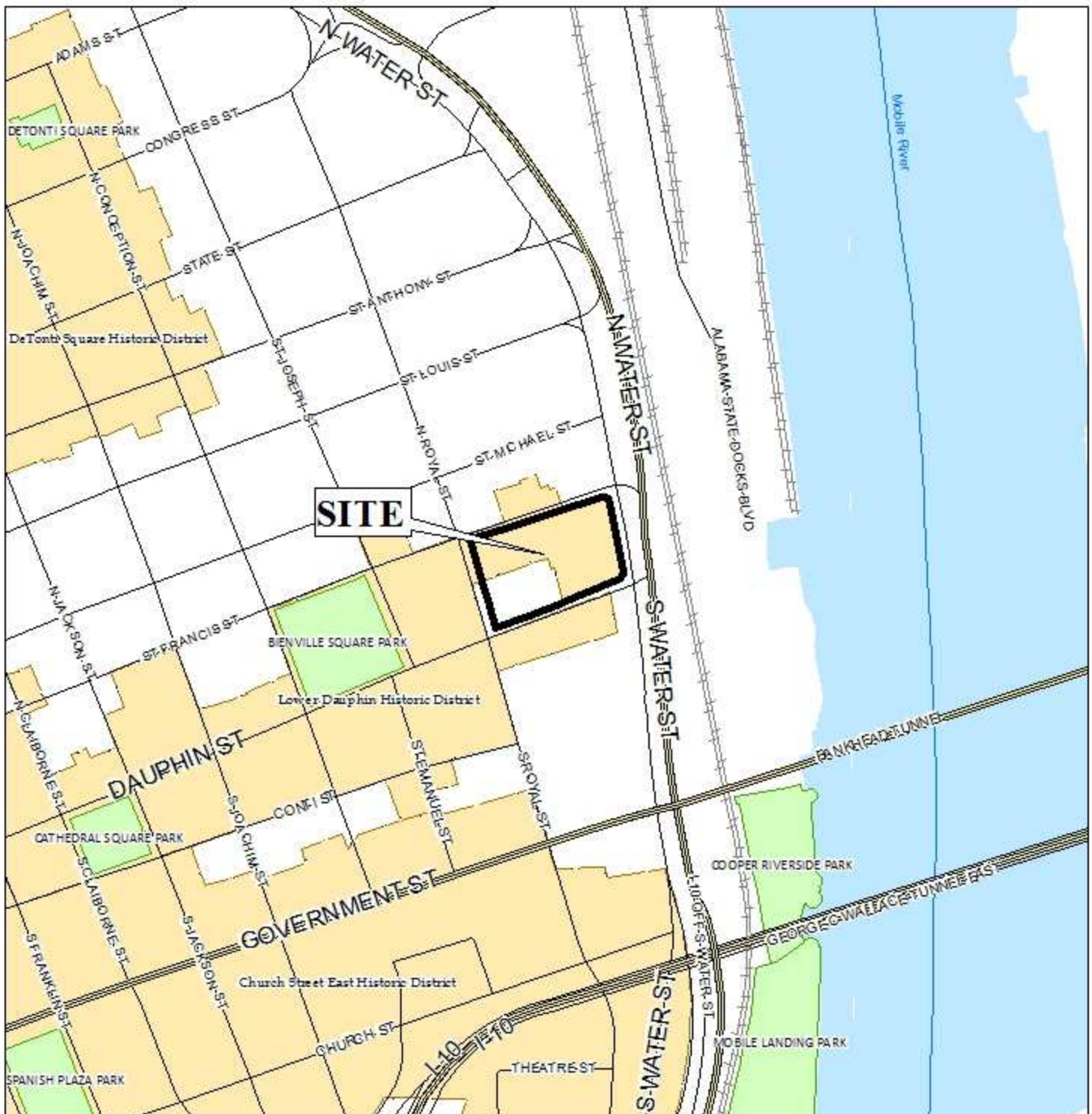
Planned Unit Development: Based upon the preceding, and with a waiver of Section 64-4.E. of the Zoning Ordinance, this application is recommended for approval, subject to the following conditions:

- 1) Compliance with Engineering comments (*1) Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile*

Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2) Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3) According to the FEMA flood map information, this property is located within a Special Flood Hazard Area. You will need to show and label the flood hazard area(s) on your plat and plans. Also, you will need to list the Minimum Finished Floor Elevation (MFFE) for each LOT. 4) Add a note to the PUD Plan stating that the proposed development must comply with all Engineering Department Policy Letters: a.5-13-2009 Policy Letter(Car wash drains and dumpster pads to drain to Sanitary Sewer System));

- 2) *Compliance with Traffic Engineering comments (All new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 3) *Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 4) *Compliance with Fire comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 5) *Placement of a note on the site plan stating that Lot 1A is limited to its existing curb-cuts, and that Lot 1B is limited to one curb-cut to North Royal Street, and two curb-cuts to Dauphin Street, with the size, design and location of all curb-cuts to be approved by Traffic Engineering, and to comply with AASHTO standards;*
- 6) *Placement of a note on the final plat stating that new construction must comply with local, state and federal laws regarding development within a flood zone;*
- 7) *Depiction of a dumpster on the site plan, or provision of a statement indicating how waste will be serviced for the new retail/restaurant and bank uses;*
- 8) *Compliance with Section 64-6.A.of the Zoning Ordinance, including the photometric requirements;*
- 9) *Waiver of Section 64-4.F. of the Zoning Ordinance regarding the minimum drive through queuing distance for the restaurant use only, subject to Traffic Engineering approval;*
- 10) *Provision of a revised PUD site plan prior to the signing of the final plat;*
- 11) *Any proposed work on Lot 1A will require approval by the Architectural Review Board / Mobile Historic Development Commission; and*
- 12) *Full compliance with all other municipal codes and ordinances.*

LOCATOR MAP



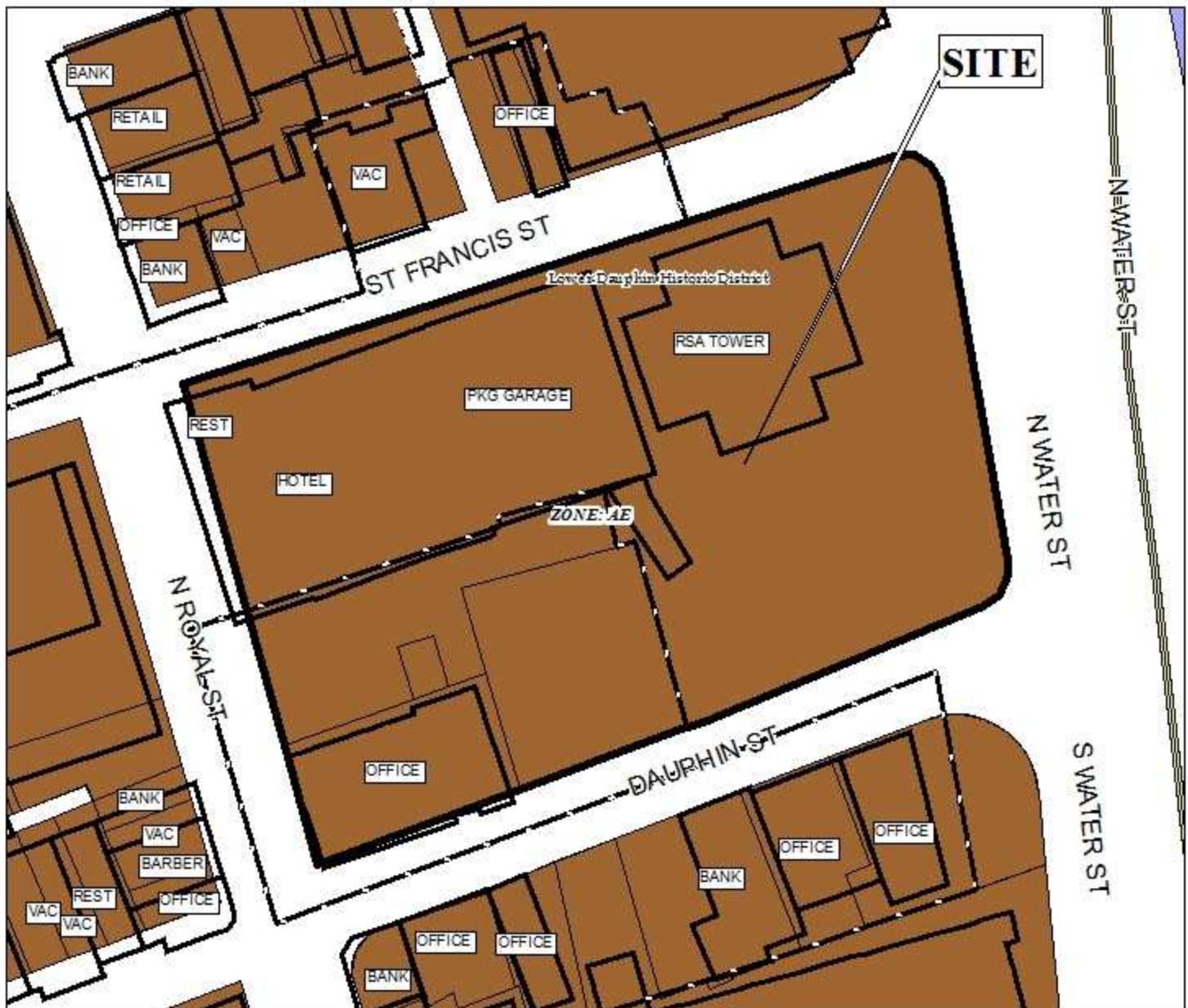
APPLICATION NUMBER 15 & 16 DATE May 1, 2014

APPLICANT Battlehouse Parking Deck Two Subdivision

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by businesses.

APPLICATION NUMBER 15 & 16 DATE May 1, 2014

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REQUEST Subdivision, Planned Unit Development

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by businesses.

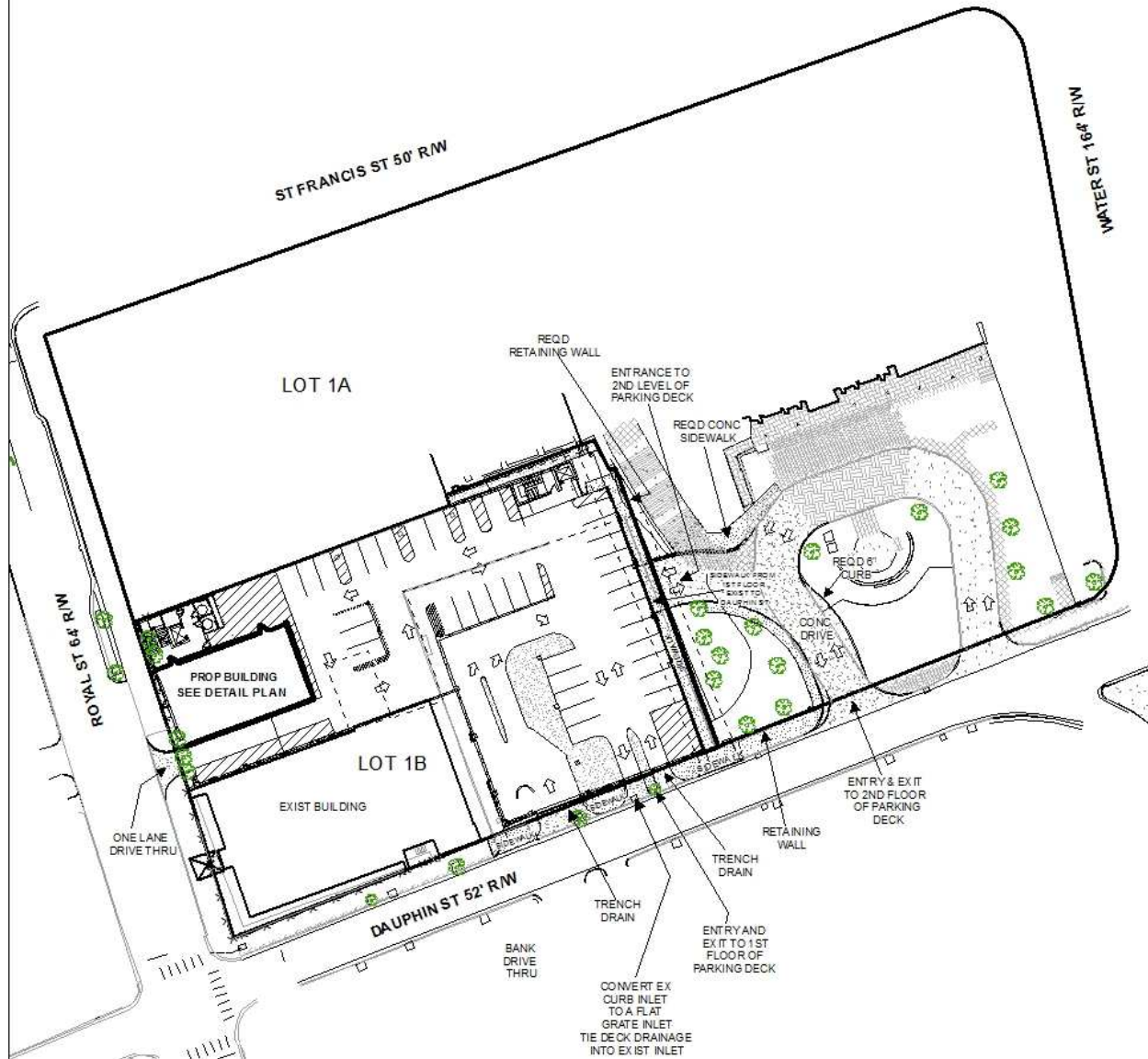
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REQUEST Subdivision, Planned Unit Development



SITE PLAN



The site plan illustrates the existing building, proposed building, parking, and drive thurs.

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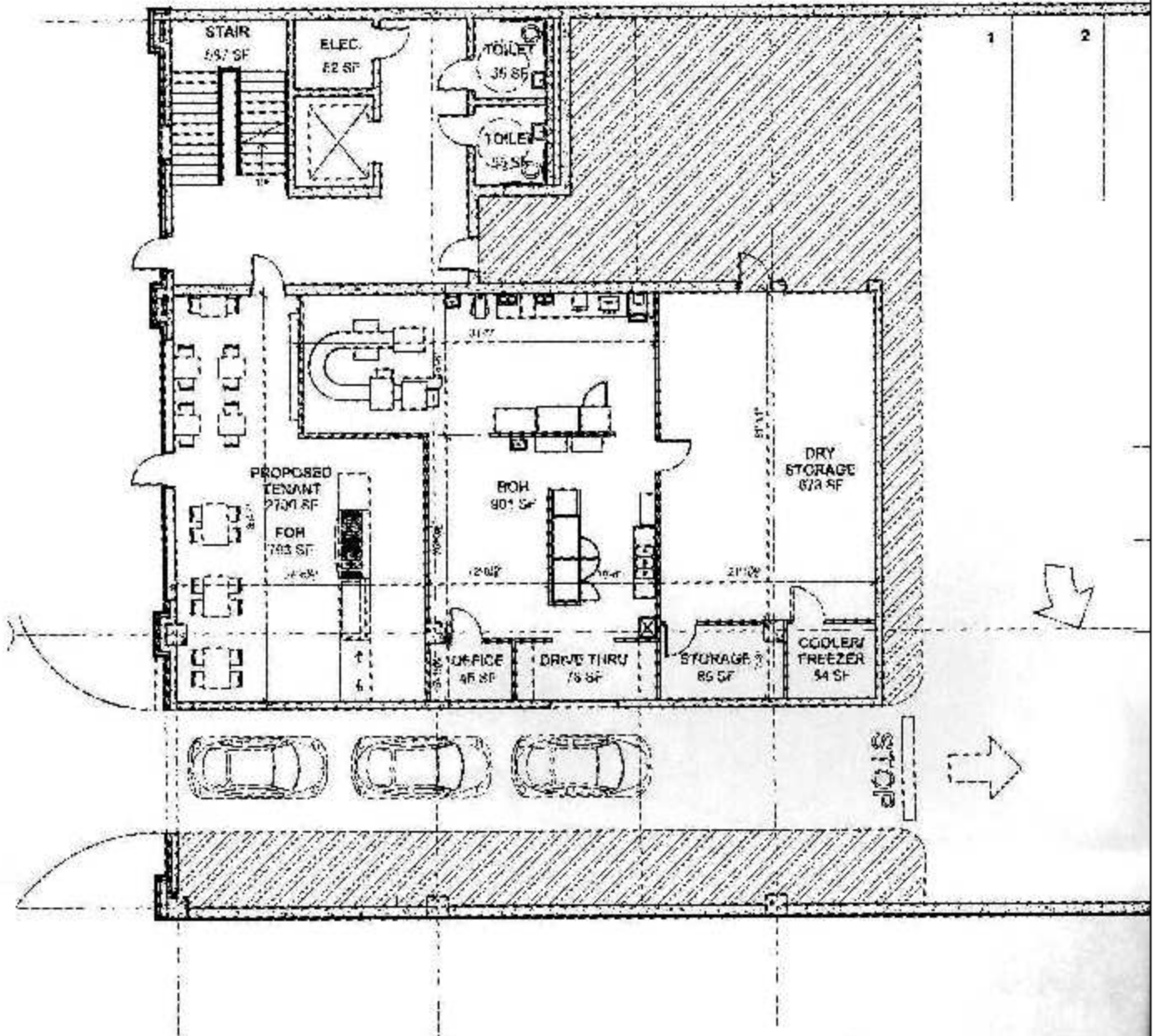
APPLICANT Battlehouse Parking Deck Two Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

DETAIL SITE PLAN



APPLICATION NUMBER 15 & 16 DATE May 1, 2014

APPLICANT Battlehouse Parking Deck Two Subdivision

REQUEST Subdivision, Planned Unit Development

