

TOLBERT ESTATES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile.

The plat illustrates the proposed 9 lot, 16.4 ± acres subdivision which is located on the North side of Richmond Pearson Road, extending from Repoll Road to Alderway. The applicant states that the subdivision is served by public water and individual septic systems: MAWSS states that it does not provide water or sewer services to this location.

The purpose of this application is to subdivide a metes and bounds parcel into 9 lots.

The site fronts Repoll and Richmond Pearson Roads, both minor streets with adequate rights-of-way. Access management is a concern, as proposed Lots 1-8 will only have 100 feet of frontage. Lots 1-8 should be limited to one curb-cut each, while Lot 9 should be limited to two curb-cuts onto Repoll Road and two onto Richmond Pearson Road. The size, design and location of all curb-cuts must be approved by the Mobile County Engineering Department.

Proposed Lot 9 has a corner at the intersection of Repoll and Richmond Pearson Road, thus the corner should be designed to comply with Section V.D.6. of the Subdivision Regulations. The plat should be revised to depict a corner with an appropriate radius, to be approved by Mobile County Engineering.

All lots will meet the minimum size requirements for lots with public water, but lacking sanitary sewer: all lots will be at least 15,000 square feet.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

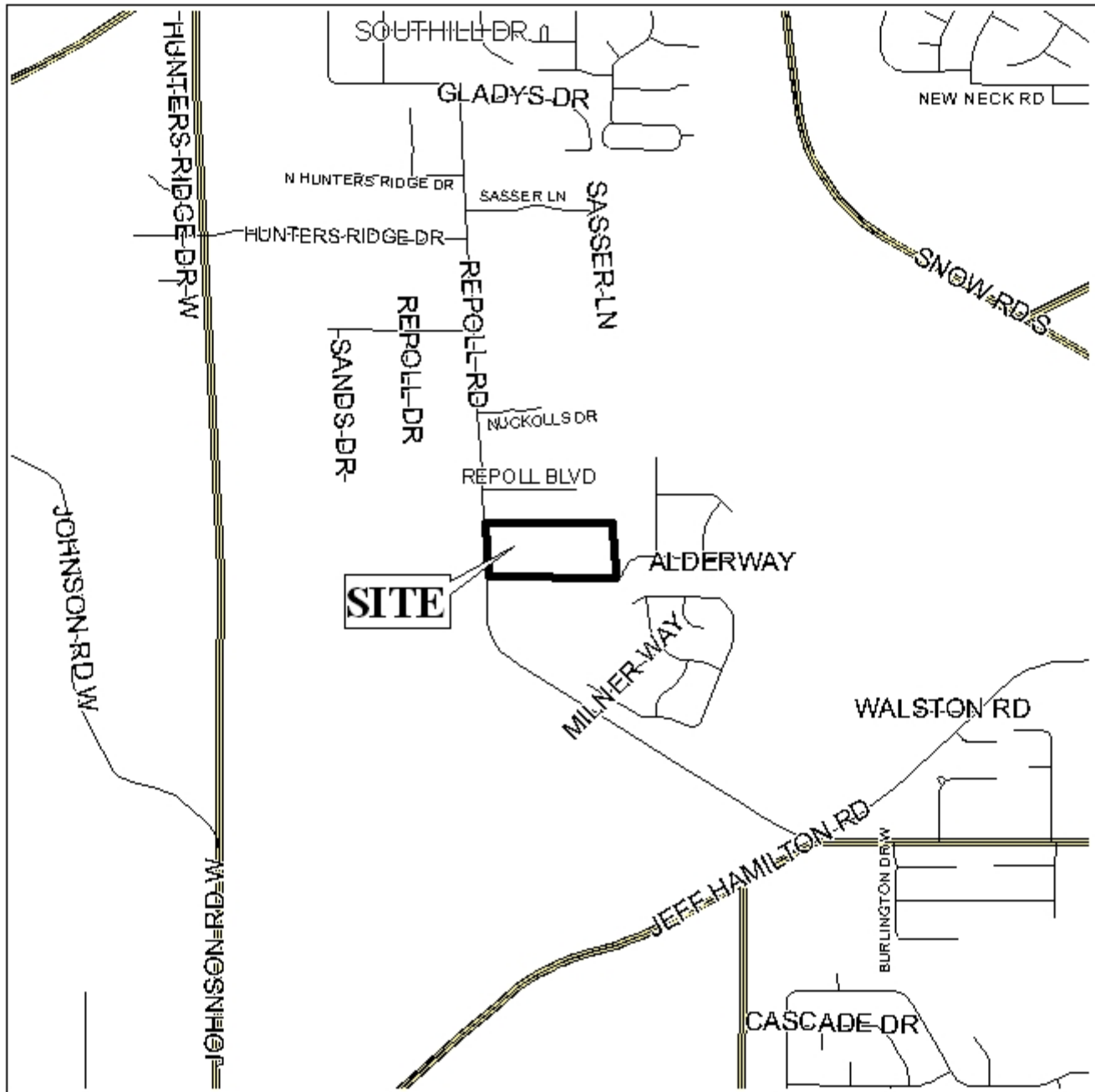
The site appears to be crossed by Miller Creek, and it appears that much of the site may be within floodplains associated with the creek. Wetlands may also occur on the site. The potential presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

A note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

Based on the preceding, the plat is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that Lots 1-8 are limited to one curb-cut each, and that Lot 9 is limited to two curb-cuts onto Repoll Road, and two onto Richmond Pearson Road, with the size, design and location of all curb-cuts to be approved by Mobile County Engineering;
- 2) revision of the plat to depict an appropriate corner radius at Repoll Road and Richmond Pearson Road, in conformance with Section V.D.6. of the Subdivision Regulations, to be approved by Mobile County Engineering;
- 3) depiction of the 25-foot minimum building setback line on the final plat, to accommodate condition number 2;
- 4) depiction of the lot size in square feet on the final plat, as depicted on the preliminary plat;
- 5) placement of a note on the plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.;
- 6) approval of all applicable federal, state and local agencies prior to the issuance of any permits or land disturbance activities; and
- 7) placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

LOCATOR MAP



APPLICATION NUMBER 14 DATE September 6, 2007

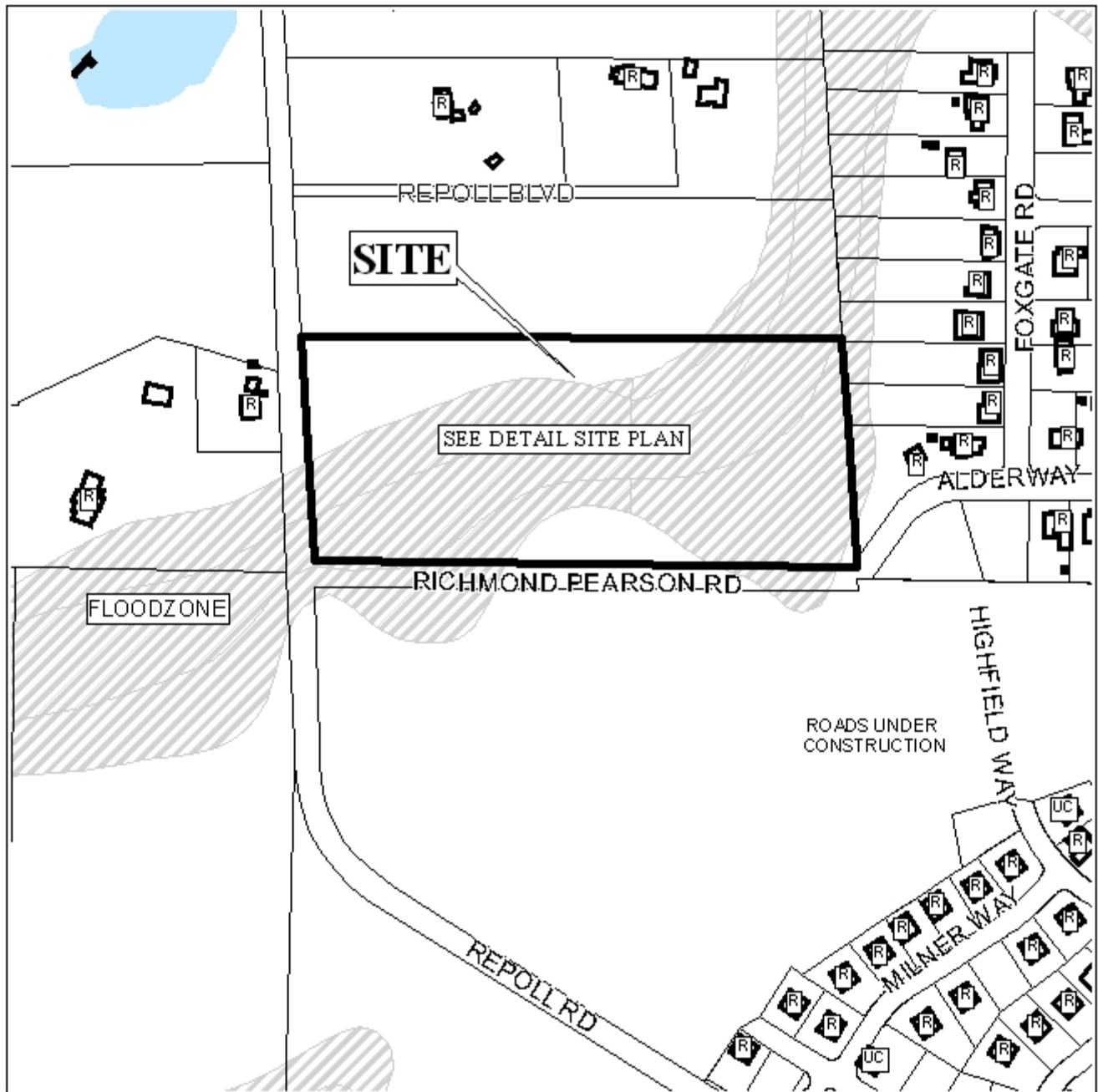
APPLICANT Tolbert Estates Subdivision

REQUEST Subdivision



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TOLBERT ESTATES SUBDIVISION



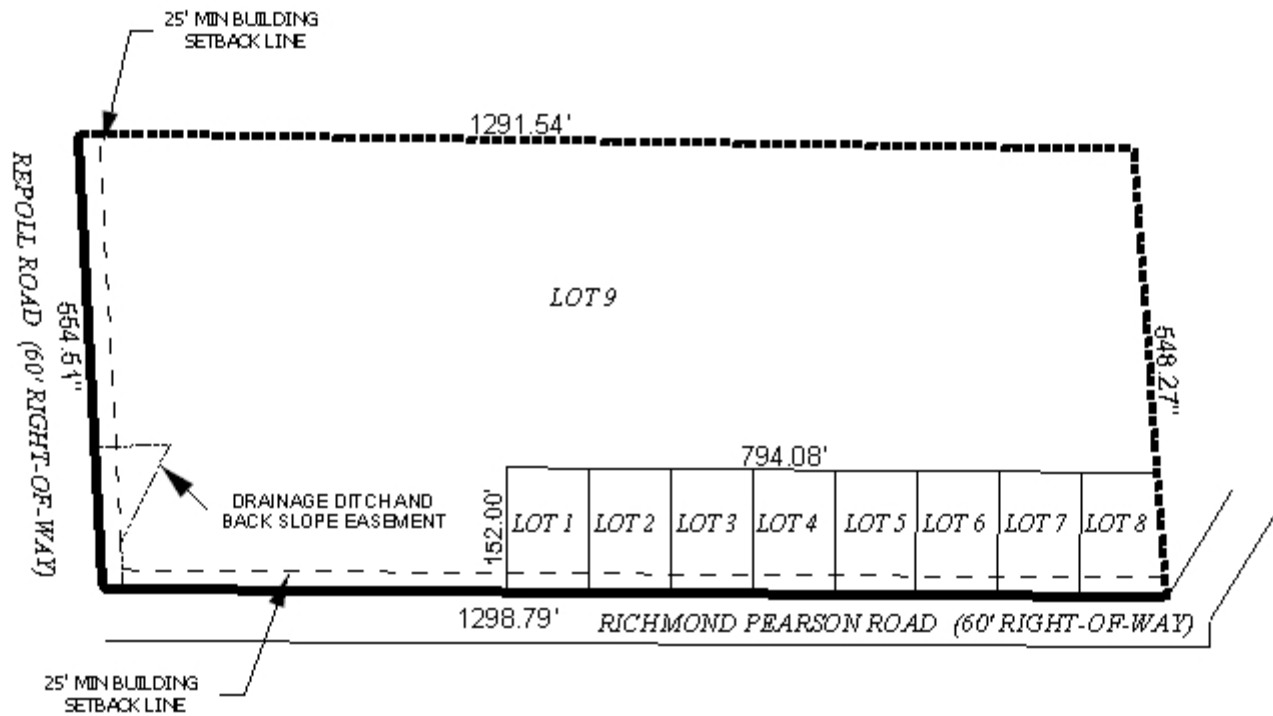
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LEGEND



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DETAIL SITE PLAN



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APPLICANT Tolbert Estates Subdivision

REQUEST Subdivision



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