

**SIDEWALK WAIVER REQUEST
STAFF REPORT****Date: June 3, 2010****NAME**

Signal Ship Repair, LLC

LOCATION601 South Royal Street
(Northeast corner of South Royal Street and Elmira Street)**PRESENT ZONING**

I-2, Heavy Industry District

ENGINEERING**COMMENTS**

From the cross sections provided by the applicant, it appears that there is insufficient width from the back of the curb to the ROW line to construct a City standard sidewalk entirely within the limits of the ROW.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS

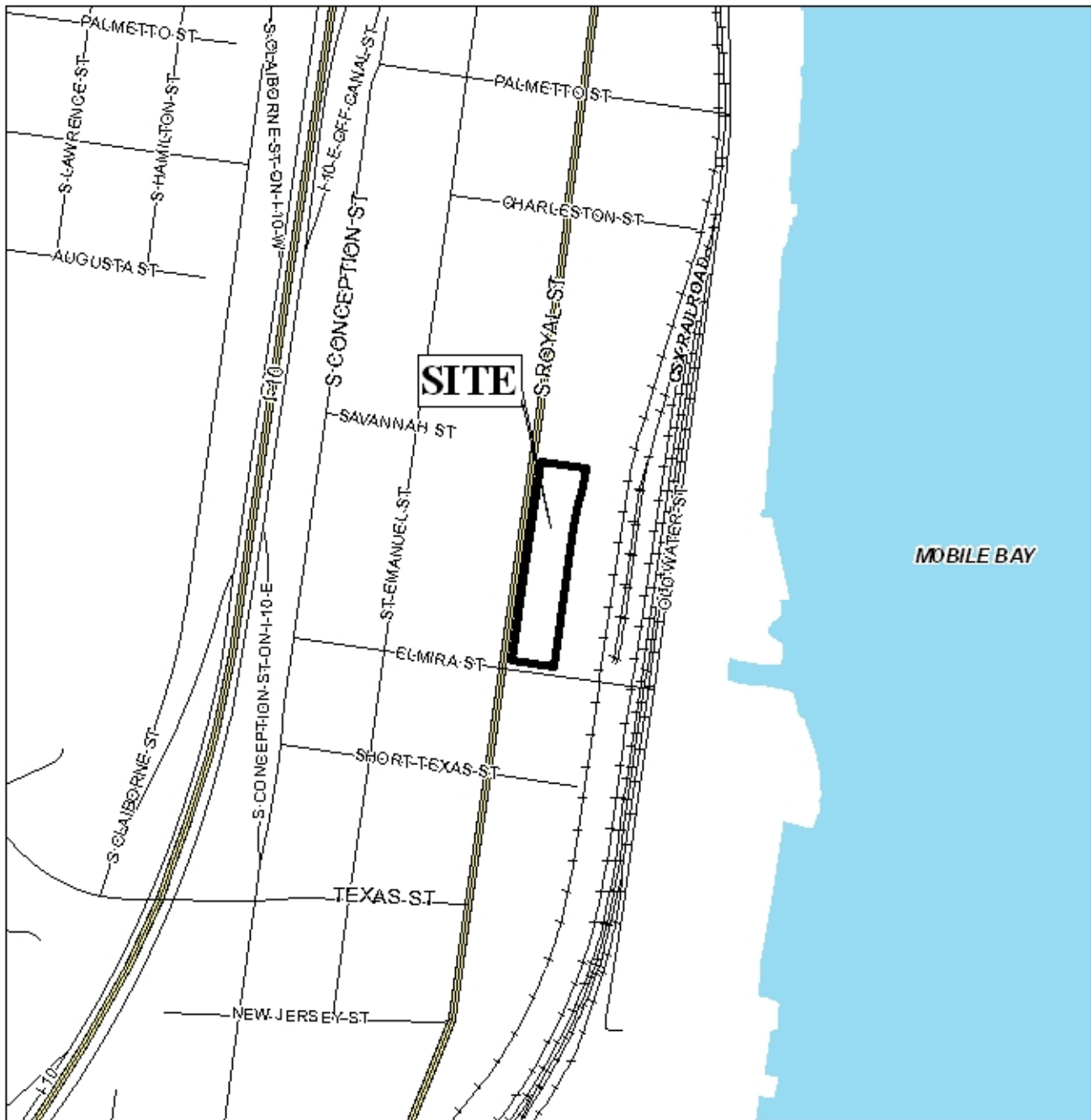
The applicant is requesting a waiver of the sidewalk construction requirements along Royal and Elmira Street. The applicant states that the area along Royal Street is primarily heavy industrial, and traffic in the area consists of truck and heavy equipment making conditions unsafe for pedestrians. The applicant further states that the majority of South Royal Street and adjoining streets have no sidewalks and for these reasons a sidewalk waiver is requested.

With regard to the applicant's request, it should be noted that an analysis of GIS shows that there are no sidewalks in the immediate vicinity of the site; however, just a few blocks up South Royal Street, Bender Shipbuilding received a denial from the Commission for waiving sidewalk construction along Canal Street; hence, they constructed sidewalks on Royal and Canal Street. Furthermore, when existing developments are expanded or redeveloped, a sidewalk will be required. It should also be noted that the Commission has rarely allowed the absence of sidewalks in an area as justification for waiving sidewalk requirements. Also, in areas of heavy traffic, whether auto, truck or heavy equipment, sidewalks typically provide a safer walking option for pedestrians than does walking in the street or on unimproved right-of-way. Finally, it has been the policy of the Commission to approve sidewalk waivers only in cases where there was an engineering reason or physical barrier that made installation of the sidewalk impracticable: in this case, Engineering has stated that there is insufficient right-of-way to build a City standard sidewalk.

RECOMMENDATION

Based on the preceding, it is recommended that this sidewalk waiver request along Royal and Elmira Street, be approved.

LOCATOR



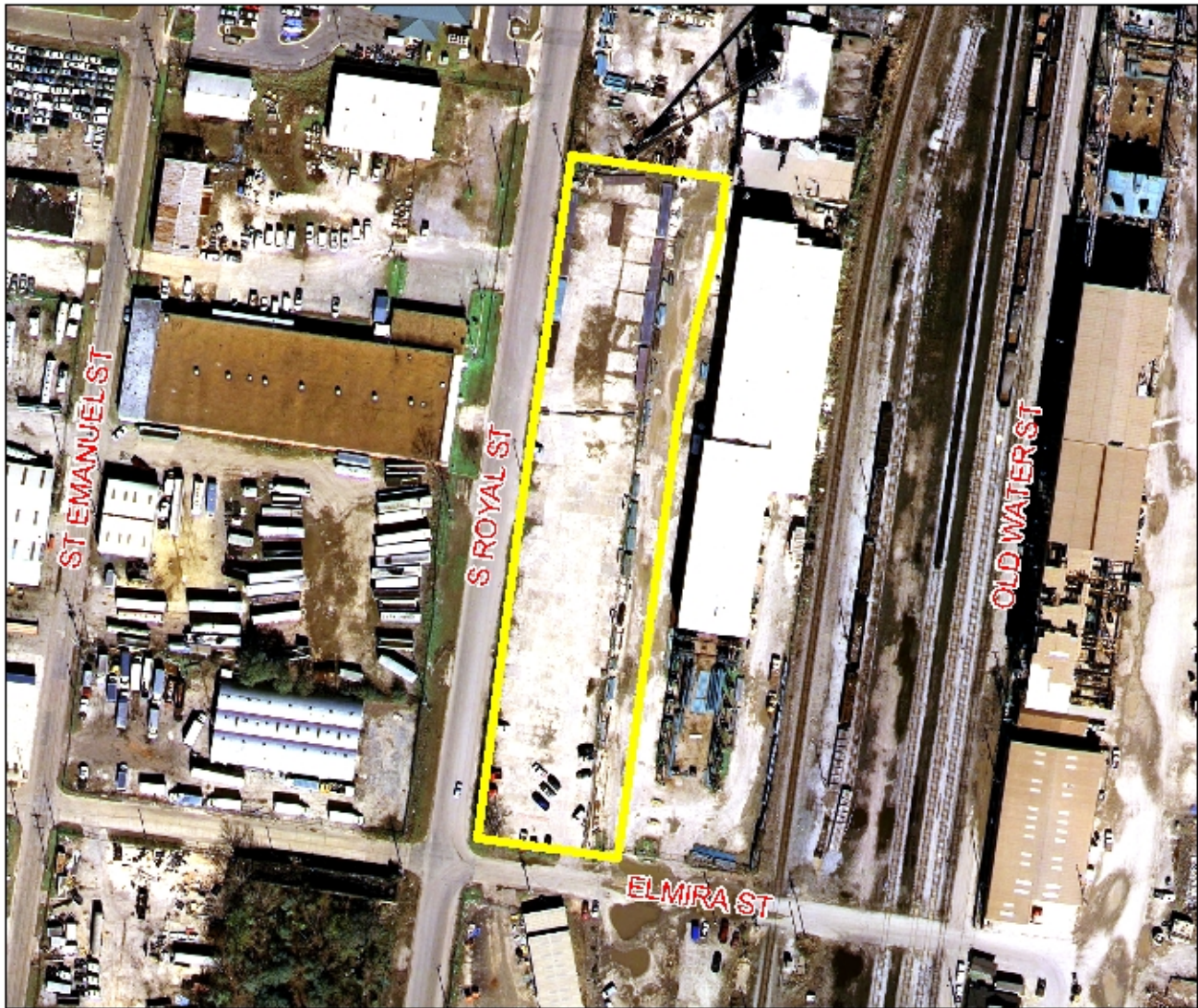
APPLICATION NUMBER 14 DATE June 3, 2010

APPLICANT Signal Ship Repair, LLC

REQUEST Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial land use.

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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING


















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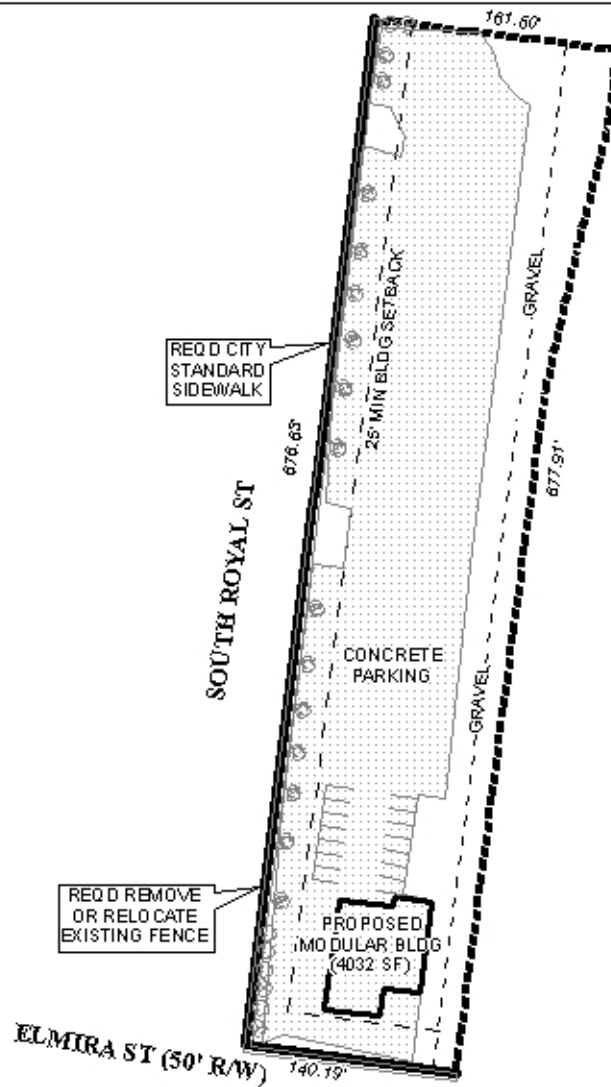
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LEGEND

 R-1	 R-2	 R-3	 R-A	 R-B	 H-B	 T-B	 B-1	 LB-2	 B-2	 B-3	 B-4	 B-5	 I-1	 I-2	NTS
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SITE PLAN

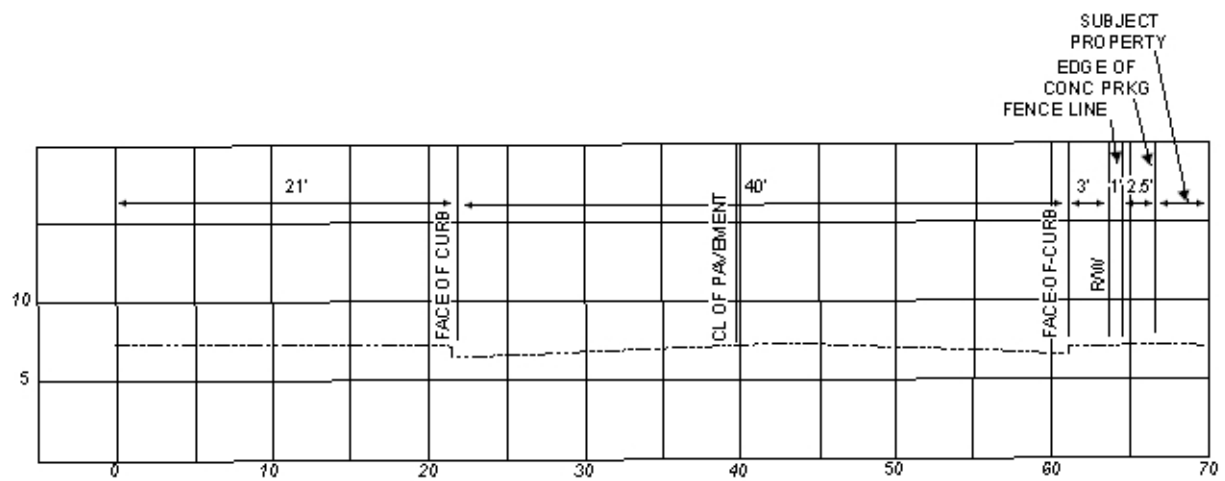


This site plan plan illustrates the existing lot configuration.
See detail site plan for sidewalk cross section.

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N
 NTS

DETAIL SITE PLAN



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