

SOLLIE ROAD SUBDIVISION

Engineering Comments: The middle detention area is shown in the AE flood, which is not allowed. Engineering will require dedication of the AE flood zone as drainage easement. Provide the required FEMA map revision to locate the flood zone as shown prior to submittal of the Land Disturbance permit. Please provide acceptable road terminus treatment to prevent vehicular traffic from erroneously entering Second Creek. Provide minimum finished floor information for each lot affected by the AE flood zone.

Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory (NWI) on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and ALDOT, and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G, as adopted by the City of Mobile on July 6, 2004. All One- or Two-Family residential developments shall comply with Appendices B, C, and D of the 2003 International Fire Code, as adopted by the City of Mobile on July 6, 2004.

The plat illustrates the proposed 70.3 ± acre, 51 lot subdivision which is located at the East side of Sollie Road, 400'± North of the East terminus of Isle of Palms Drive, extending to the East terminus of Raleigh Boulevard, and is in Council District 6. The subdivision is served by public water and sanitary sewer.

The purpose of this application is create 51 lots on approximately 16 acres of the site, and reserve the bulk of the site for future development. The site is composed of parcels and recorded lots.

The site fronts on Sollie Road, a major street with a right-of-way that varies in width. As a proposed major street, the right-of-way width should be 100-feet. Therefore, sufficient right-of-way should be dedicated so that 50-feet of right-of-way, as measured from the centerline of Sollie Road, is provided.

Access management is a concern due to Sollie Road's status as a major street. As proposed, lots 1-21 and 51 will have frontage on Sollie Road and streets internal to the proposed development. It is recommended that direct access to Sollie Road be denied for all lots.

The 25-foot minimum building setback line, required in Section V.D.9. of the Subdivision Regulations, is not shown for the subdivision, but would be required on the Final Plat, if approved. This setback line should also be shown for lots which front Sollie Road, and should be determined as measured from any right-of-way edge established as part of any required dedication.

The site was the subject of two subdivision and PUD cases and 2004. The first group application was denied, while the second application was approved. An extension for the most recent group application was granted in March 2006.

The application in question, unlike the currently approved subdivision and PUD for the site, lacks alleyways. This application, in fact, appears to follow the minimum requirements of the Subdivision Regulations, with the exception of the length of the road serving the two proposed cul-de-sacs. Section V.B.6. of the Subdivision Regulations states that cul-de-sacs "shall not be longer than 600 feet," however, the extenuating circumstances of Second Creek may provide sufficient justification for a street of such length. Provision of a traffic-calming device may be advisable, however, to discourage speeding along the proposed street.

The site is split by Second Creek, a tributary to Halls Mill Creek and Dog River. Wetlands associated with the creek may occur on a portion of the site. The site, additionally, appears to have significant portions located in the "100" and "500" year flood zones and the floodway for Second Creek, as depicted on FEMA maps. The presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities. The plat should also be revised to clearly identify wetlands, flood zones and floodways for the site. A note should also be placed on the final plat, if approved, stating that no buildings or structures may be placed in the floodway.

The presence of wetlands on the site may result in a few of the proposed lots providing less than 7,200 square feet of buildable area. The applicant should ensure that the minimum buildable area is provided for each lot, exclusive of any wetlands on the site. The plat should be revised to show the buildable area and total area for each lot on the plat, either in a table or on each lot.

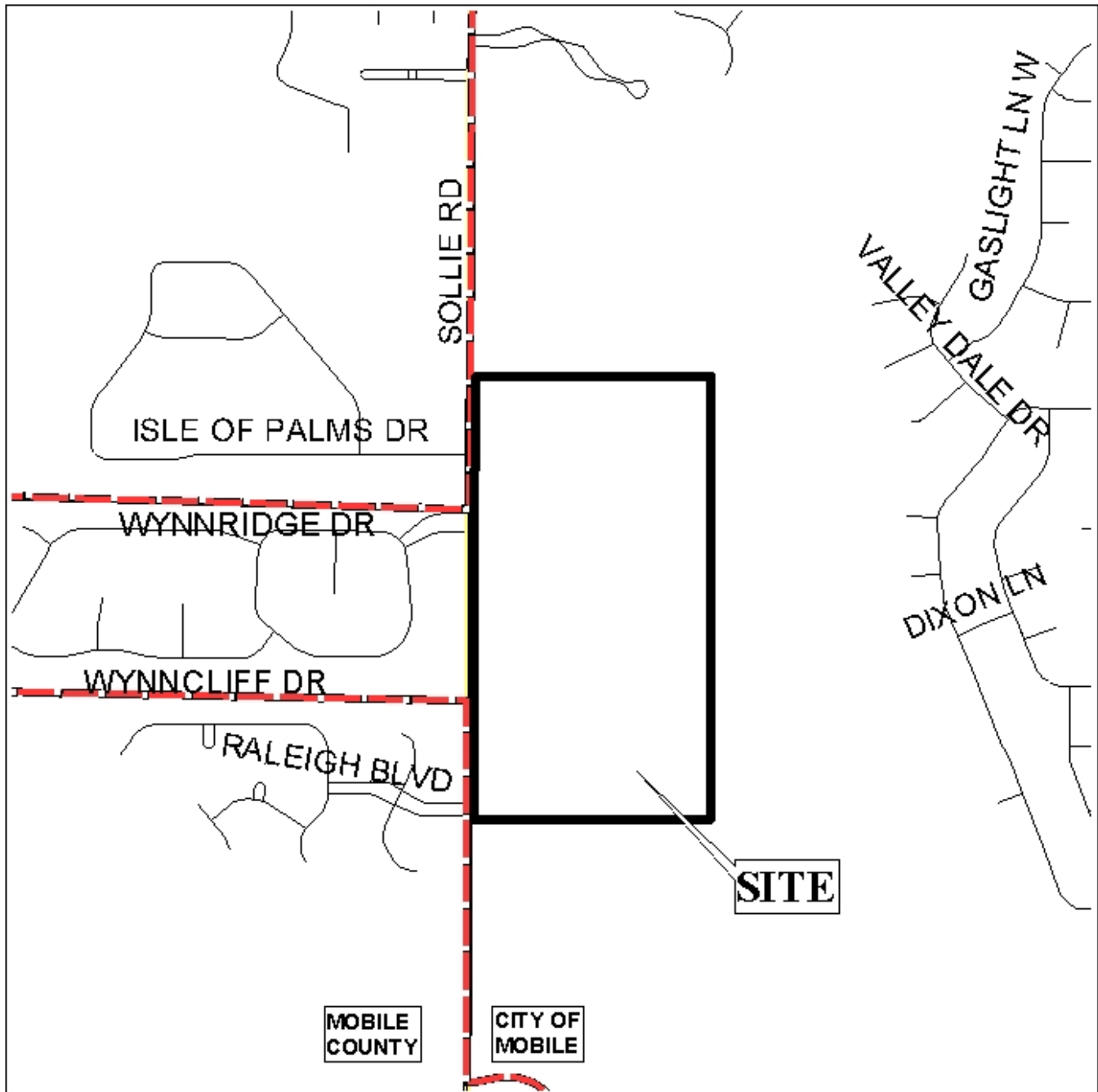
Detention areas are identified on the plat, and other areas that appear to be "common areas" also appear on the plat. The plat should be revised to clearly delineate and label all common areas, and a note should be placed on the final plat, if approved, stating that maintenance of the detention and common areas is the sole responsibility of the property owner's association.

With a waiver of Section V.B.6., this application is recommend for Tentative Approval, subject to the following conditions: 1) full compliance with Engineering comments: *"The middle detention area is shown in the AE flood, which is not allowed. Engineering will require dedication of the AE flood zone as drainage easement. Provide the required FEMA map revision to locate the flood zone as shown prior to submittal of the Land Disturbance permit. Please provide acceptable road terminus treatment to prevent vehicular traffic from erroneously entering Second Creek. Provide minimum finished floor information for each lot affected by the AE flood zone. Must comply with all storm water and flood control ordinances. Any work*

performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory (NWI) on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands."

2) depiction and labeling of all wetlands, FEMA flood zones, floodways and required finished floor elevation information; 3) placement of a note on the final plat stating that no structures may be built within the FEMA designated floodway; 4) dedication of sufficient right-of-way to provide 50-feet of right-of-way, as measured from the centerline of Sollie Road; 5) revision of the plat, if necessary, to ensure that each lot has a minimum buildable area of 7,200 square feet, exclusive of wetlands; 6) revision of the plat to show the buildable area and total area for each lot on the plat, either in a table or as a label on each lot; 7) depiction of the 25-foot minimum building setback line for all lots, including along Sollie Road; 8) provision of a traffic calming device in the vicinity of lots 7 and 8, with the exact location, size and design to be approved by Traffic Engineering, and conform to AASHTO standards; 9) labeling of all common areas and detention common areas, and placement of a note on the final plat stating that maintenance of all common areas shall be the responsibility of the property owners; 10) placement of a note on the final plat stating that approval of all applicable federal, state and local agencies is required prior to the issuance of any permits or land disturbance activities; 11) placement of a note on the final plat stating that all lots are denied direct access to Sollie Road; and 12) full compliance with all other municipal codes and ordinances.

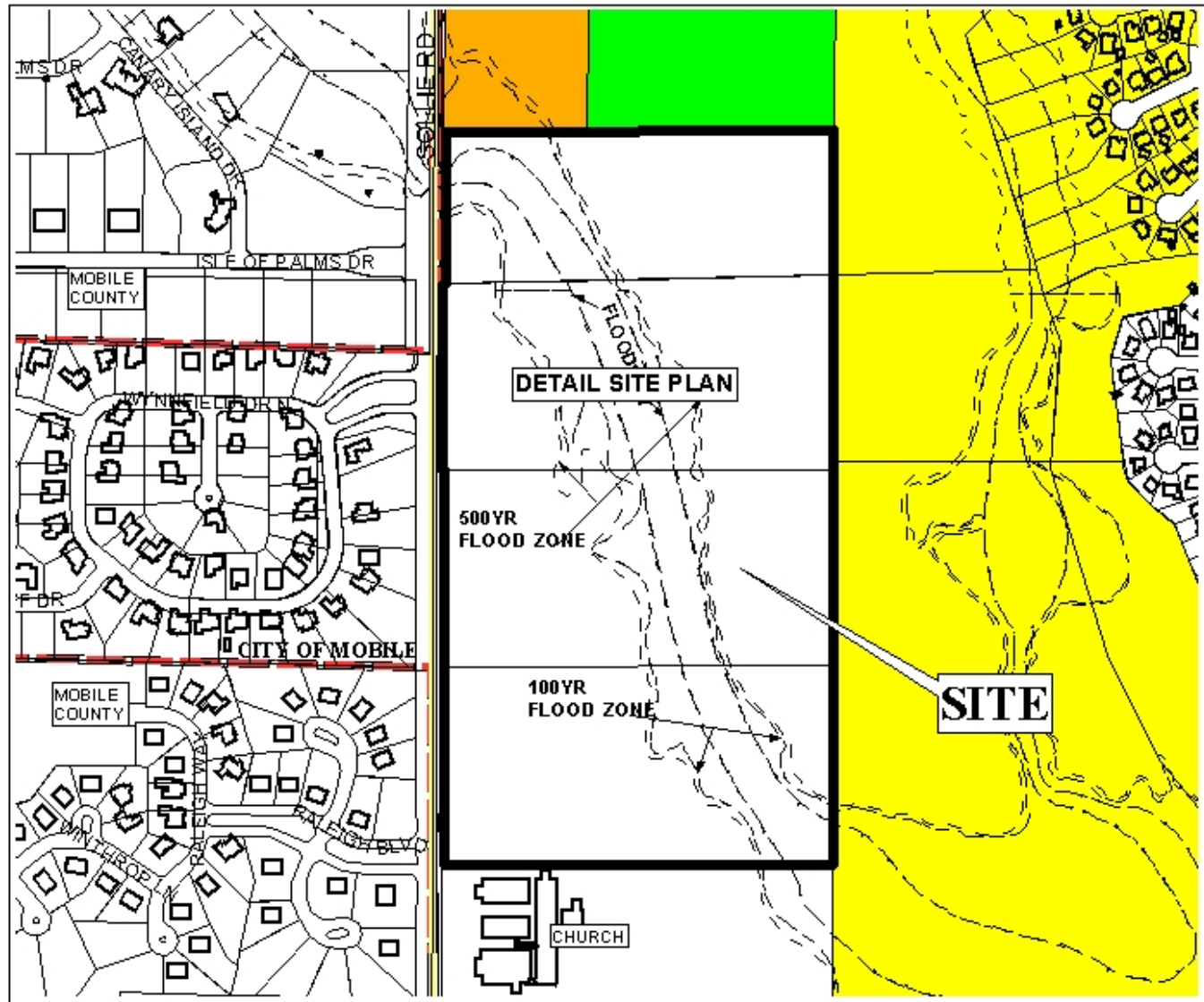
LOCATOR MAP



APPLICATION NUMBER 14 DATE July 20, 2006
APPLICANT Sollie Road Subdivision
REQUEST Subdivision



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential dwellings,
A church is located to the south of the site.

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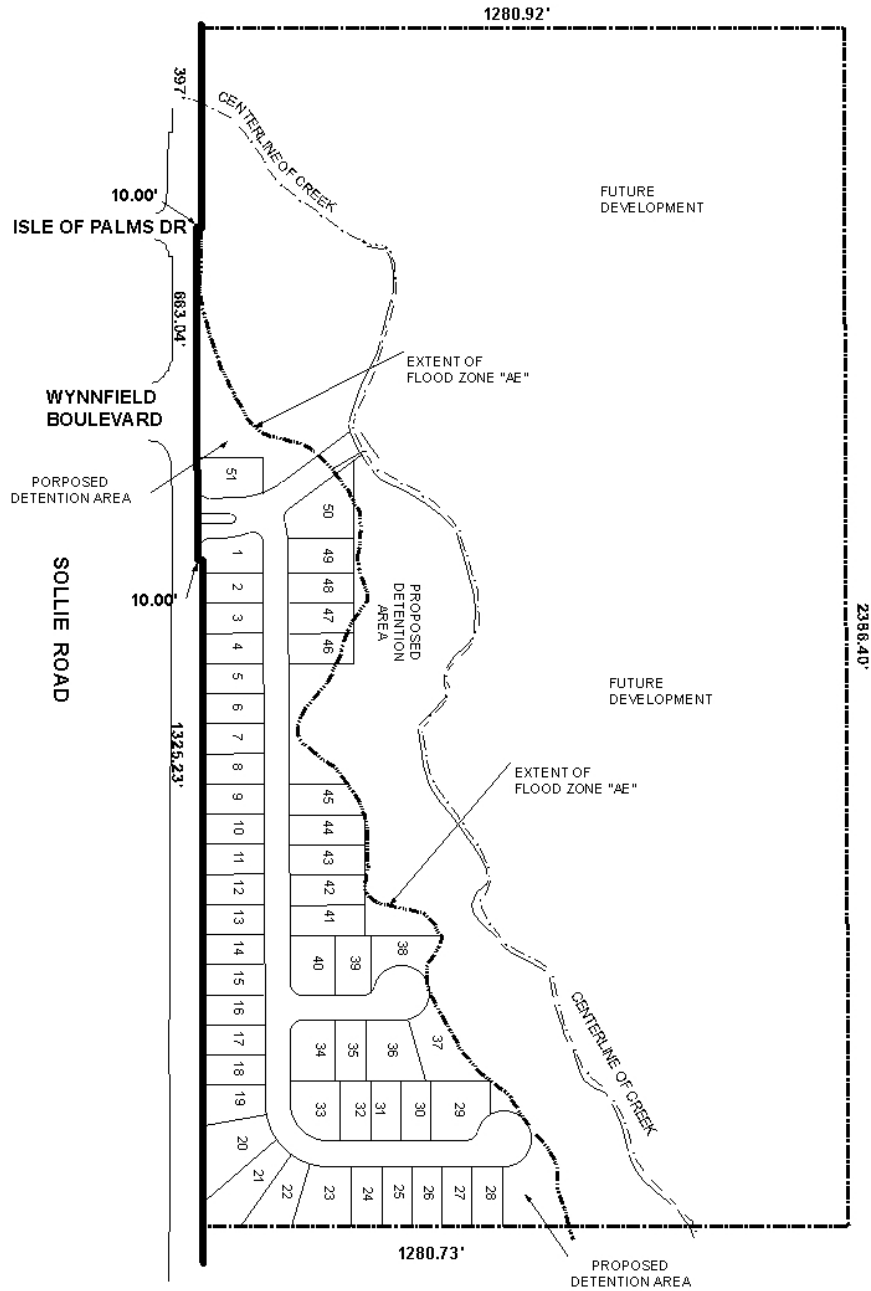
APPLICANT Sollie Road Subdivision

REQUEST Subdivision

LEGEND



SITE PLAN



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APPLICANT Sollie Road Subdivision

USE/REQUEST Subdivision

