

SERENITY GARDENS FUNERAL HOME SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWWS Comments: No comments.

The plat illustrates the proposed 1 lot, 54.0± acre subdivision which is located at 8691 Old Pascagoula Road (South side of Old Pascagoula Road, 675'± East of Serenity Gardens Road). The applicant states that the subdivision is served by public water and individual septic tank.

The purpose of this application is to create a single legal lot of record from eight existing metes and bounds lots.

The proposed lot meets the minimum size requirements as regulated by Section V.D.2 of the Subdivision Regulations. The proposed lot size is not indicated on the plat and should be provided, in square feet, on the final plat.

The site has frontage on Old Pascagoula Road to the North, Serenity Gardens Road to the West, and Tiffani Drive to the West.

Old Pascagoula Road is a major street as shown on the Major Street Plan Component on the Comprehensive plan. An 80-foot right-of-way is depicted on the plat, and the plan requires a right-of-way of 100 feet. Accordingly, dedication sufficient to provide 50-feet from the centerline of Old Pascagoula Road should be provided. As Old Pascagoula is a major street, access management is a concern. Currently, the site has three curb cuts, as revealed by aerial photographs. Given the 1,160 feet of street frontage on Old Pascagoula Road, one additional curb cut would seem to be appropriate. Accordingly, the site should be limited to four curb cuts to Old Pascagoula Road, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering.

Serenity Gardens Road is a minor street, not provided with curb and gutter. A 45 to 50-foot right-of-way is depicted for the street, and Section V.B.14 of the Subdivision Regulations requires a right-of-way of 60 feet for such streets. As such, dedication sufficient to provide 30-feet from the centerline of Serenity Gardens Road should be provided. The site currently has one curb cut to Serenity Gardens Road, as revealed by aerial photographs. The site should be limited

to this existing curb cut, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering, and a note be placed on the final plat, if approved indicating this. Additionally, the applicants should take step necessary to prevent any traffic from crossing the site as a thru-way from Old Pascagoula Road to Serenity Gardens Road, and a note should be placed on the plat indicating the same.

Tiffani Drive's western terminus is located at the property line of the site. From aerial photos, it does not appear that the subject property is being accessed from Tiffani Drive. Section V.B.14 requires a turnaround with a right-of-way diameter of 120 feet for closed-end streets. However, as this is an existing condition, access should be denied to Tiffani Drive from the site, and a waiver of the turnaround construction requirement could be appropriate. Additionally, Tiffani Drive is currently developed residentially. Accordingly, a note should be required on the final plat denying the site access to Tiffani Drive.

The 25-foot minimum building line is not depicted, and should be shown wherever the site fronts a public street.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat, if approved, stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

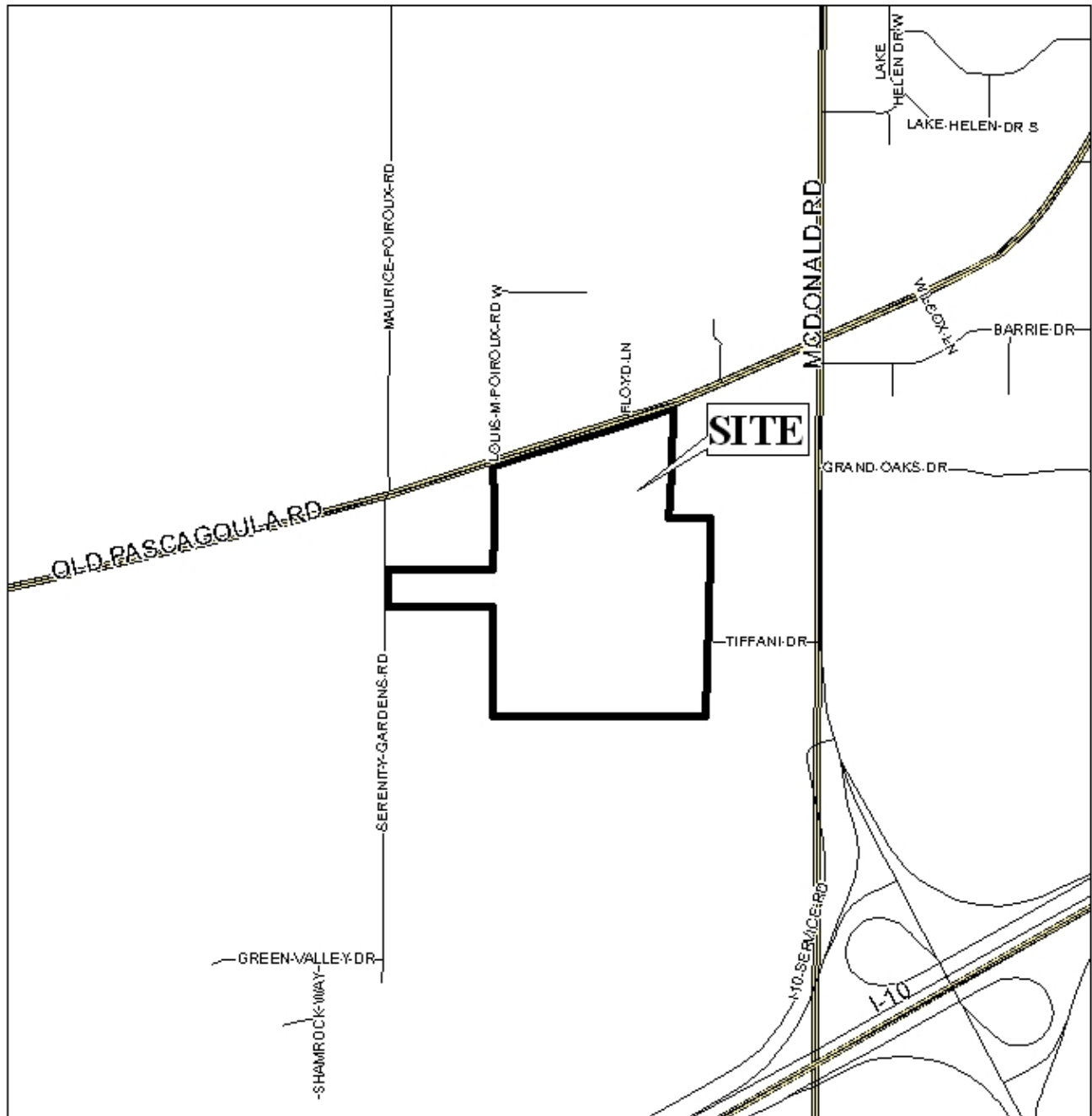
This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations. The note regarding this requirement should also appear on the final plat.

Based on the preceding, this application is recommended for tentative approval subject to the following conditions:

- 1) Provision of labeling of the lot size, in square feet, on the final plat, or provision of a table on the final plat with the same information;
- 2) Depiction of the 25-foot wherever the site fronts a public street;
- 3) Provision of dedication sufficient to provide 50-feet from the centerline of Old Pascagoula Road;
- 4) Provision of dedication sufficient to provide 30-feet from the centerline of Serenity Gardens Road;
- 5) Placement of a note on the final plat denying the lot access to Tiffani Drive;

- 6) Placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 7) Placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 8) Placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations.

LOCATOR MAP



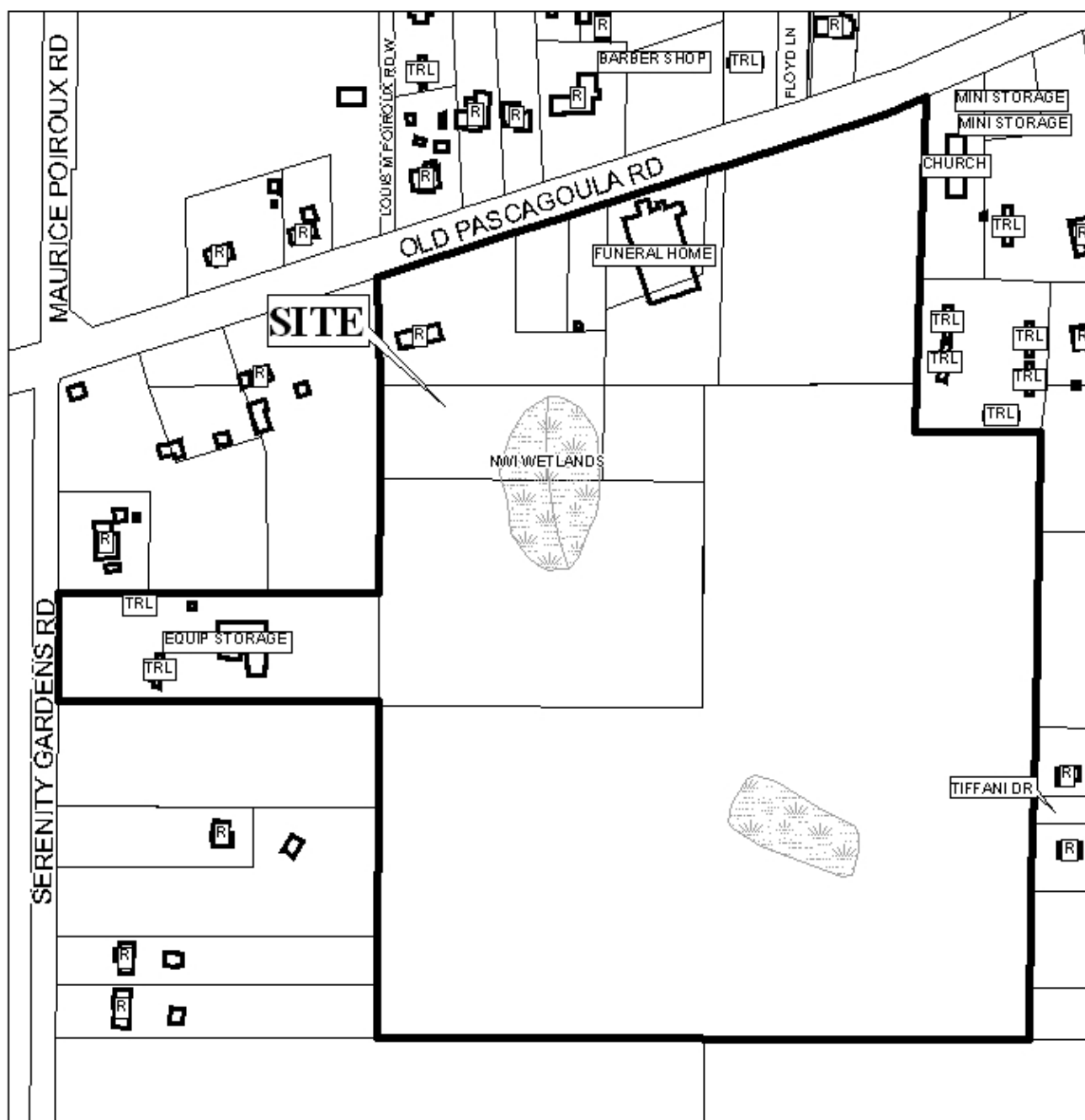
APPLICATION NUMBER 14 DATE July 16, 2009

APPLICANT Serenity Gardens Funeral Home Subdivision

REQUEST Subdivision



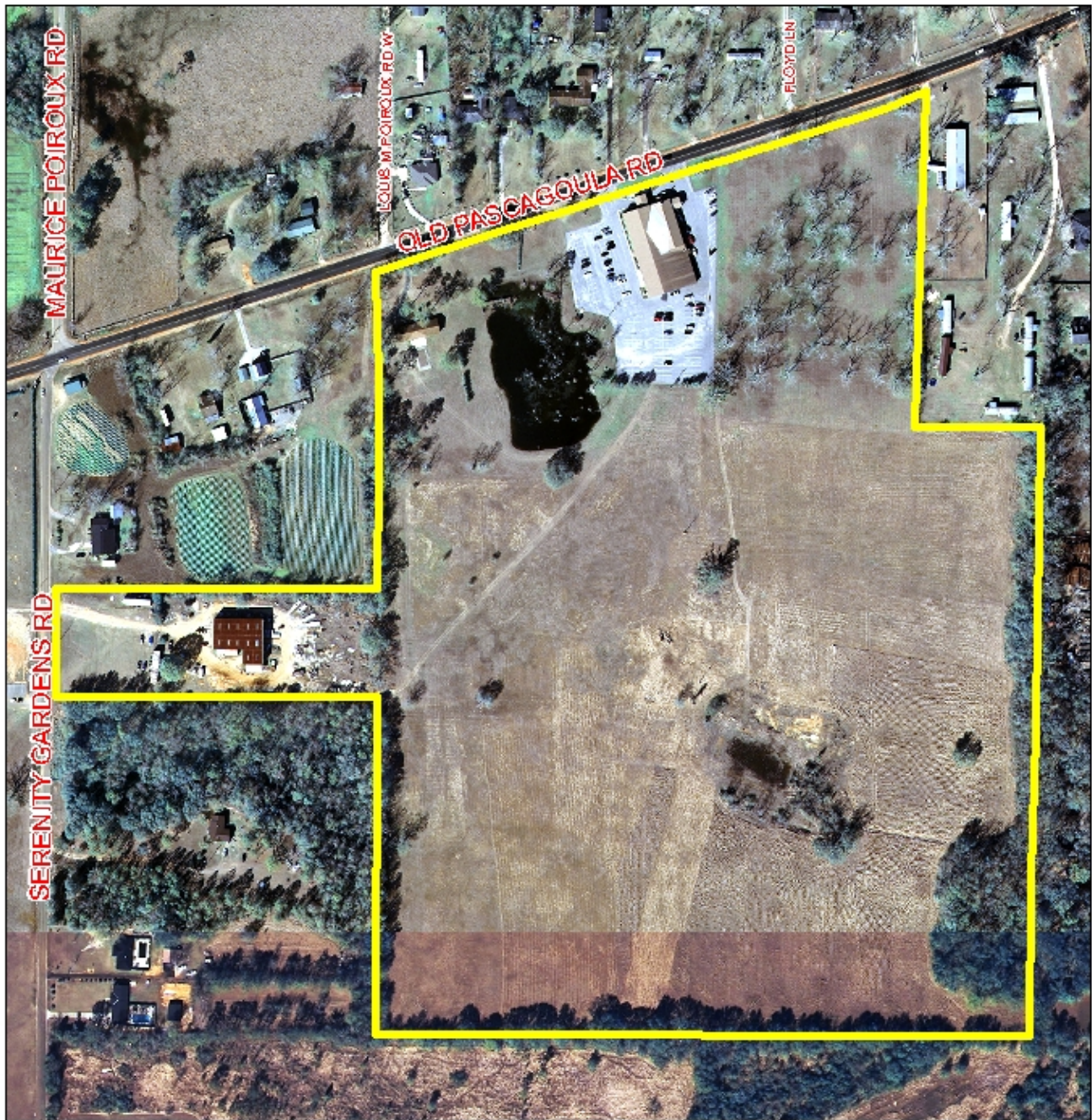
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