

RANGELINE ROAD SUBDIVISION, UNIT TWO

Engineering Comments: Show Minimum FFE on plat. No fill allowed without an approved Flood Study. Until a Flood Study is approved, place note on plat stating that fill is not allowed. No work or fill to be performed in wetlands without the appropriate Corps of Engineer's Permits. Must comply with all storm water and flood control ordinances. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: Shall comply with Section 508.5.1 of the 2003 International Fire Code

MAWWS Comments: None provided

The plat illustrates the proposed 2.3 acre \pm , 4 lot subdivision which is located West side of Rangeline Road, 105' \pm South of Downey Drive Extension [to be vacated] in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

This purpose of this application is to create 4 legal lots of record from an area labeled as "Future Development" on a previously recorded subdivision plat. It should be noted that since the recording of the previous plat, this area has been annexed into the City.

The site fronts the service road for Rangeline Road, which is a major street with an approximate right-of-way width of 400 feet, including service roads.

While the site fronts onto the service road for Rangeline Road, access management is still a concern. It is recommended that each lot be limited to one curb-cut each onto the Rangeline Road Service Road, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.

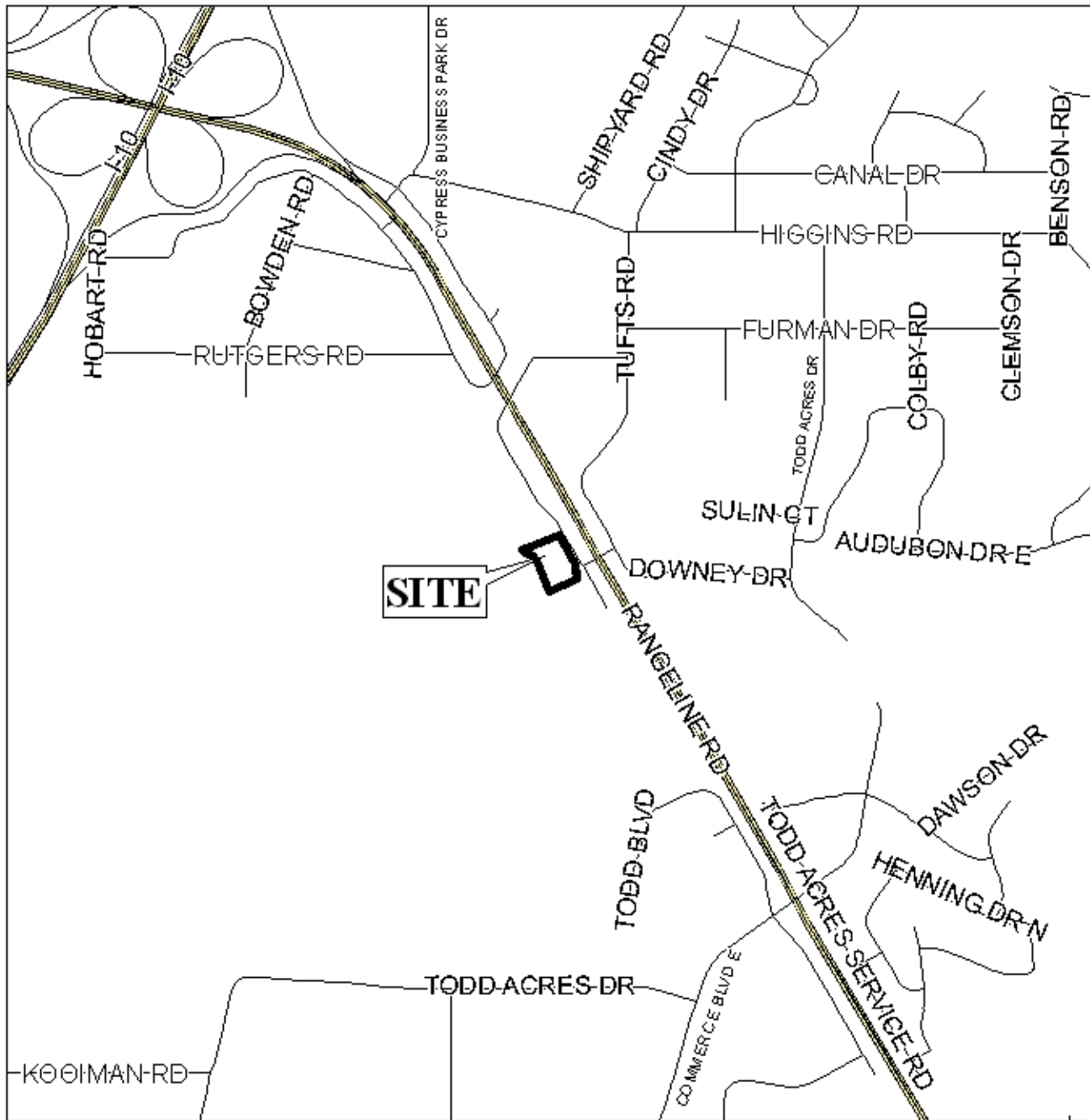
The site is within the drainage basin for Rabbit Creek, a tributary to Dog River. It appears that the site may contain wetlands and be located within the "100 year" floodplain associated with Rabbit Creek. The presence of wetlands and floodplains on the site indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities. The minimum finished floor elevation should be indicated for each lot, and the flood zone(s) should be indicated on the plat.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, this application is recommended for Tentative Approval subject to the following conditions:

- 1) Placement of a note on the final plat stating that each lot is limited to one curb-cut each onto the service road for Rangeline Road, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) Depiction and labeling of the 25-foot minimum building setback line along the service road for Rangeline Road;
- 3) Approval of all applicable federal, state and local agencies regarding the wetlands and floodplain issues prior to the issuance of any permits or land disturbance activities;
- 4) Revision of the plat to depict the minimum finished floor elevations for each lot and the flood zone(s);
- 5) Labeling of the lot size in square feet on the plat, or provision of a table on the plat with the same information; and
- 6) Placement of a note on the plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

LOCATOR MAP



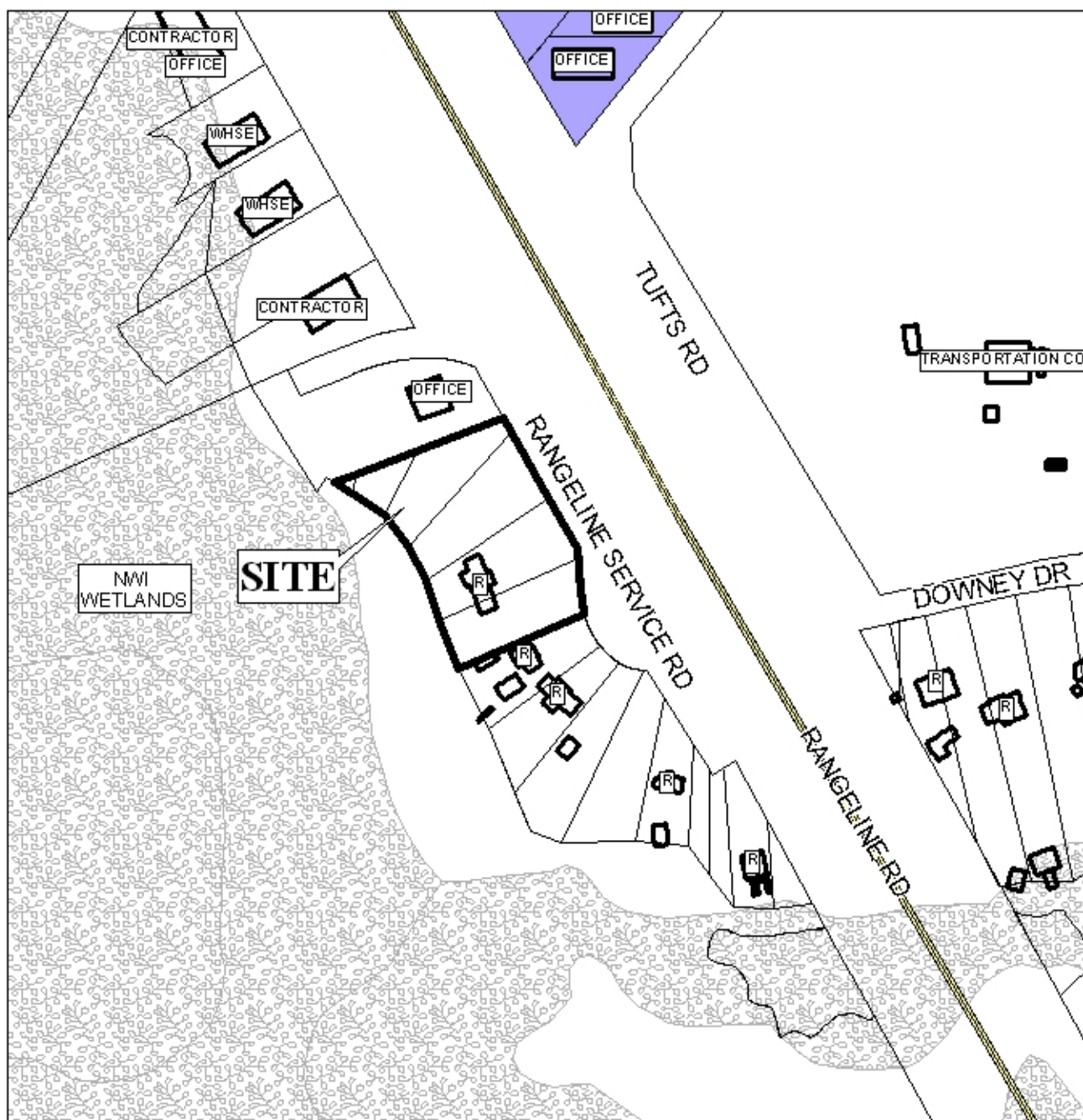
APPLICATION NUMBER 14 DATE February 5, 2009

APPLICANT Rangeline Road Subdivision, Unit Two

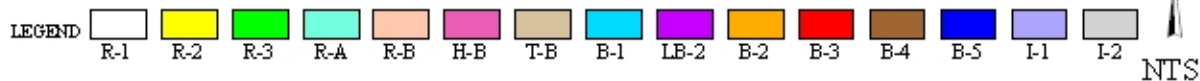
REQUEST Subdivision



RANGELINE ROAD SUBDIVISION, UNIT TWO



APPLICATION NUMBER 14 DATE February 1, 2009



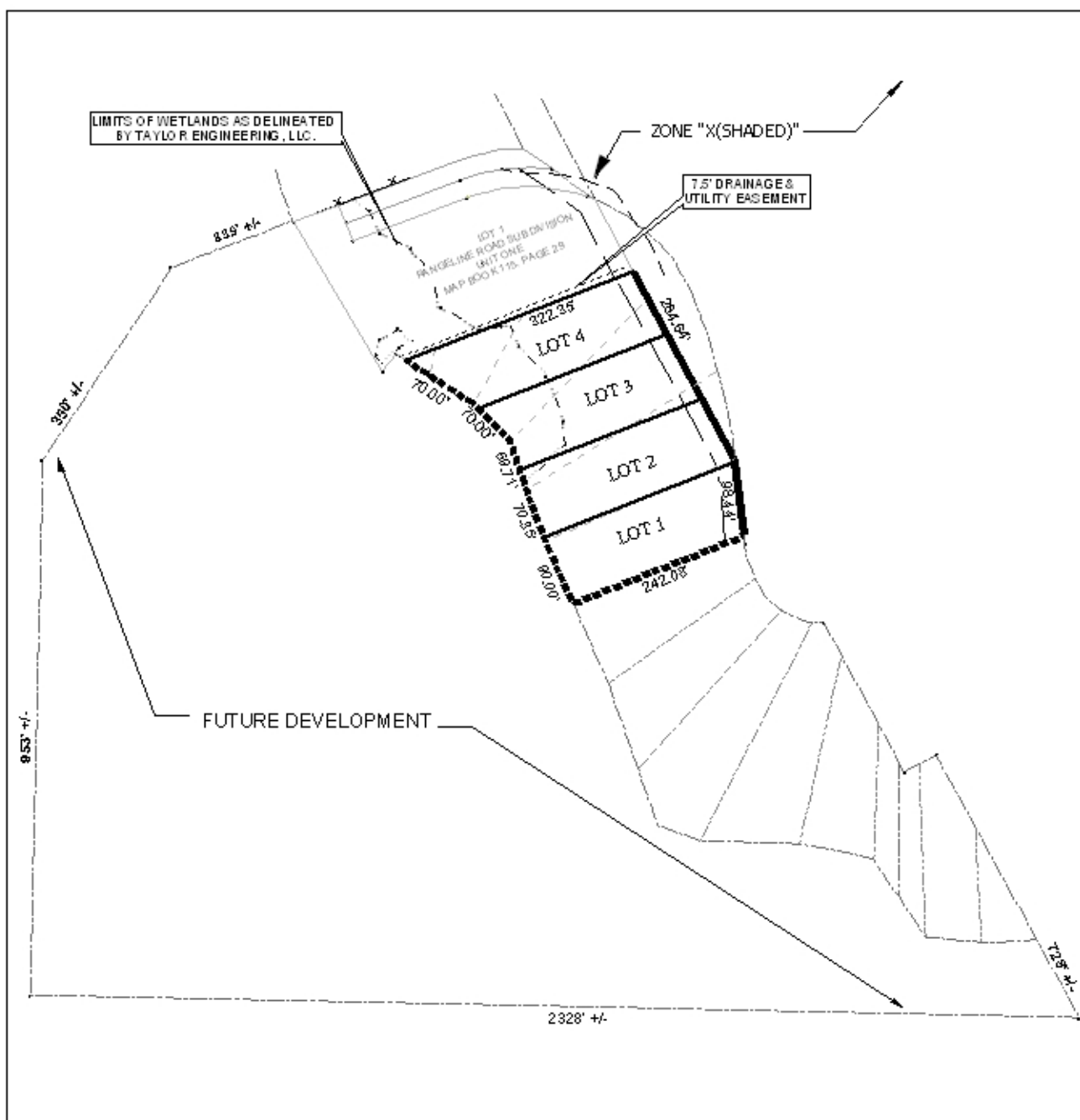
RANGELINE ROAD SUBDIVISION, UNIT TWO



APPLICATION NUMBER 14 DATE February 1, 2009



DETAIL SITE PLAN



APPLICATION NUMBER 14 DATE February 5, 2009
APPLICANT Rangeline Road Subdivision, Unit Two
REQUEST Subdivision

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