

## **MCGOWIN PARK EAST OF SATCHEL PAIGE SUBDIVISION, RESUBDIVISION OF**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide and label the monument set or found at each subdivision corner.
- B. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- C. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature.
- D. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Driveway number, size, location and design are subject to the approved PUD for this site, and shall be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code) Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)

The plat illustrates the proposed 35.0 acre  $\pm$ , 3 lot subdivision which is located at the Northwest corner of McVay Drive and Bolling Brothers Boulevard, and is in Council District 3. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to adjust internal lot and common area lines to accommodate changes to drainage easement locations, and changes to common areas. The site was most recently before the Planning Commission at its April 3, 2014, where it was approved. While the April 2014 plat has been recorded, Planning has not received the required 7 copies of the recorded plat.

The site has frontage onto Government Boulevard, an ALDOT regulated facility, McVay Drive North, Bolling Brothers Boulevard and Satchel Paige Drive. All roads meet minimum requirements, thus no dedication will be required.

The site is part of a larger Planned Unit Development. Due to the site plan specificity of PUD approval, the size, number, design and location of all curb-cuts should be limited to an approved

PUD, to be approved by Traffic Engineering and, where applicable, ALDOT. All curb-cuts must conform with AASHTO standards

All lots will meet the minimum lot size requirements of Section V.D.2. of the Subdivision Regulations. The lot size information in square feet and acres should be retained on the final plat, if approved.

The 25-foot minimum building setback line, required in Section V.D.9., is shown the preliminary plat, and should be retained on the final plat, if approved.

Detention basin common areas are proposed for the subdivision. A note should be placed on the Final Plat, if approved, stating that maintenance of the detention basin common areas, and any other common areas, are the responsibility of the subdivision's property owners.

Multiple drainage and utility easements are depicted on the preliminary plat. All easements should be labeled on the final plat, and a note should be placed on the final plat stating that no permanent structures shall be placed in any easement.

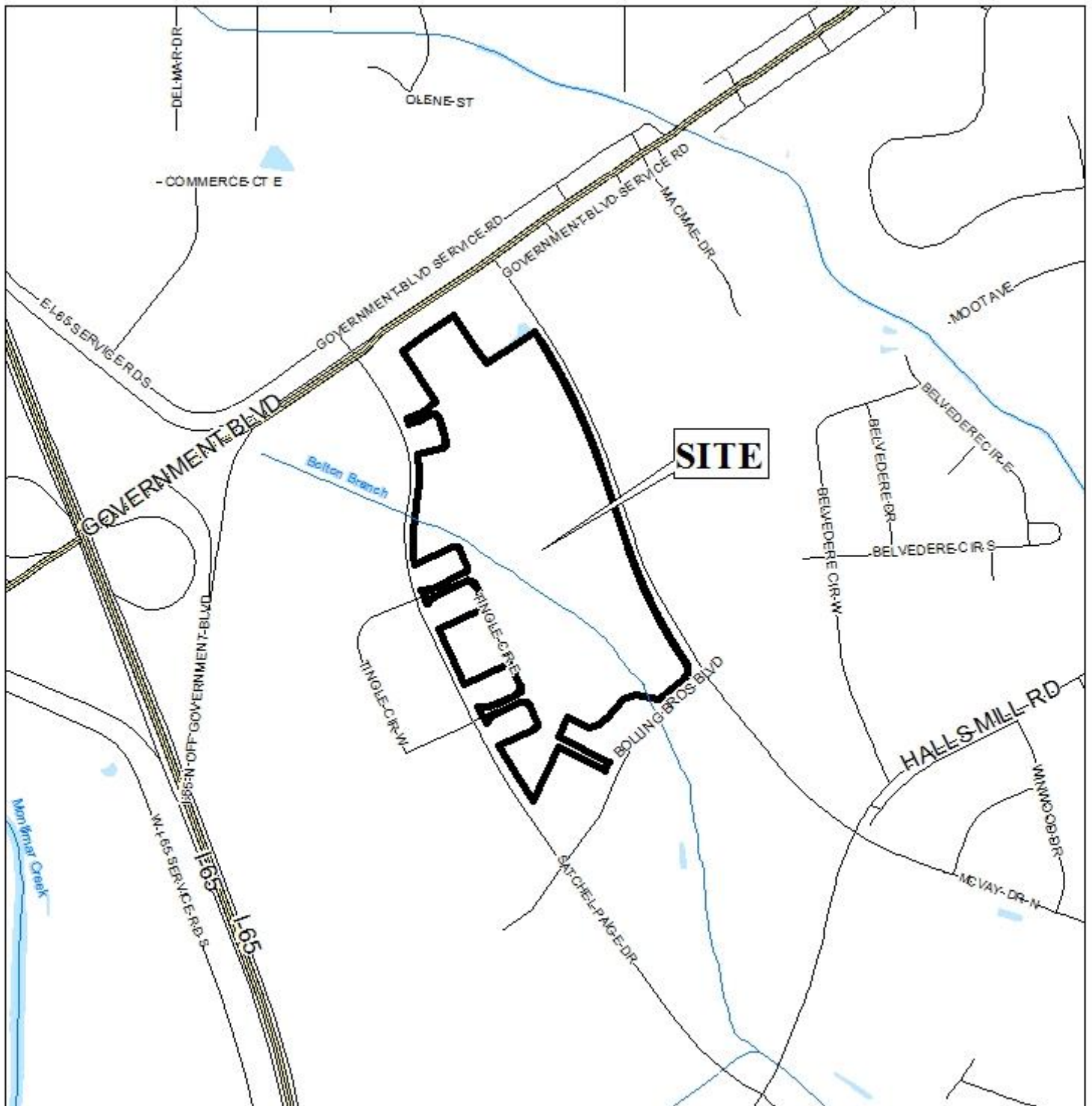
Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Submission of seven (7) copies of the recorded plat for the McGowin Park Subdivision approved at the April 3, 2014 Planning Commission meeting;
- 2) Placement of a note on the final plat stating that the number, size, design and location of any new curb-cuts or modification of existing curb-cuts are subject to compliance with the approved PUD site plans, Traffic Engineering approval, ALDOT approval where required, and to conform with AASHTO standards.;
- 3) Retention of the 25-foot minimum building setback line for all lots with frontage on a public street, as required by Section V.D.9. of the Subdivision Regulations;
- 4) Labeling of all common areas and detention areas, and placement of a note on the final plat stating that maintenance of the detention basin/common areas, and any other common areas, are the responsibility of the subdivision's property owners;
- 5) Labeling of all drainage and utility easements on the site, and placement of a note on the final plat stating that buildings and other permanent habitable structures are not allowed in easements;
- 6) Retention of the labeling of each lot with its size in square feet and acres, as depicted on the preliminary plat
- 7) Compliance with Engineering comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide and label the monument set or found at each subdivision corner. B. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. C. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature. D. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.*);
- 8) Compliance with Traffic Engineering comments (*Driveway number, size, location and design are subject to the approved PUD for this site, and shall be approved by ALDOT*

*(where applicable) and Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*

- 9) *Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).); and*
- 10) *Compliance with Fire comments (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code) Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)).*

# LOCATOR MAP



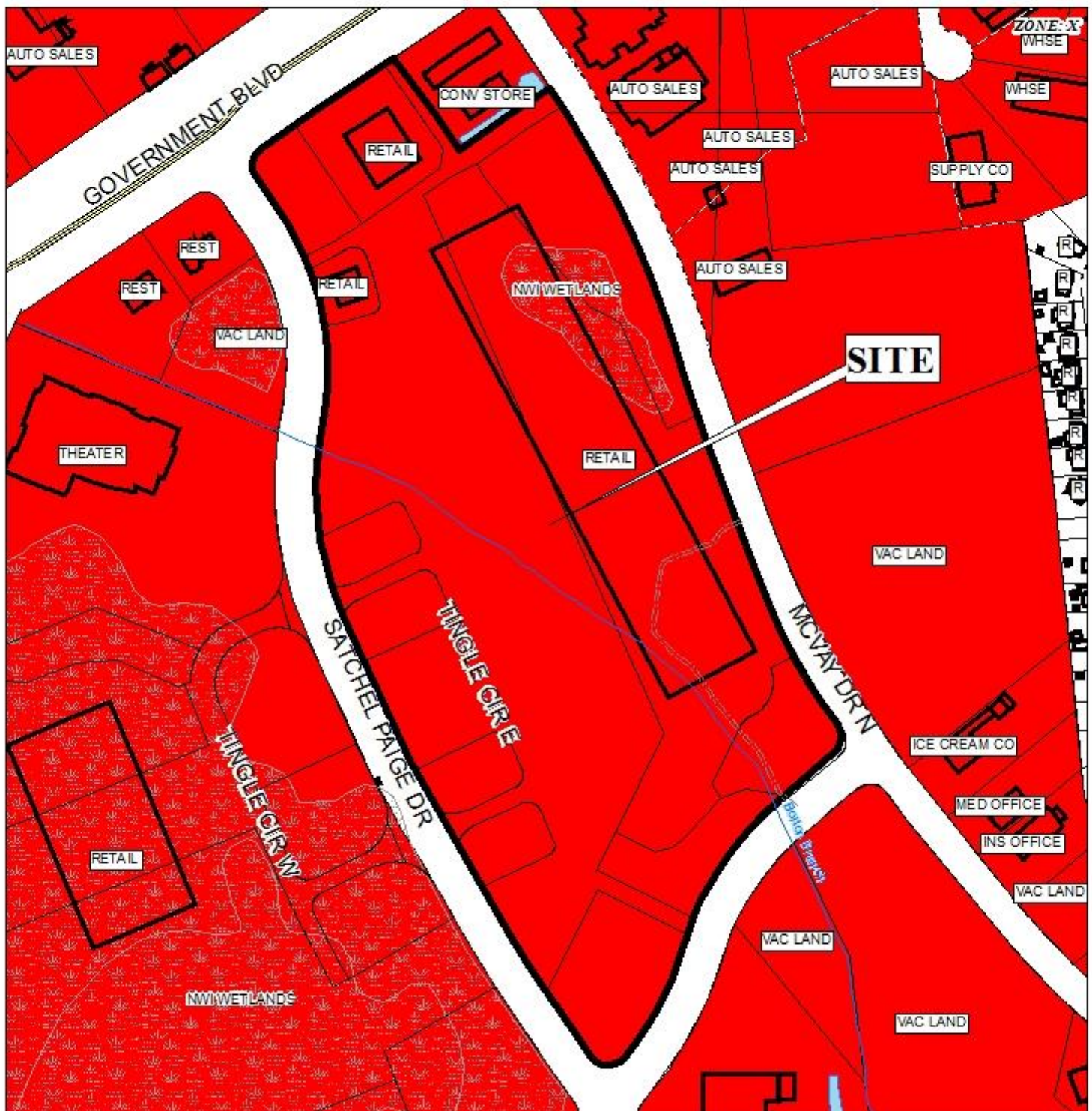
APPLICATION NUMBER 14 DATE June 4, 2015

APPLICANT McGowin Park East of Satchel Paige Subdivision, Resubdivision of  
REQUEST Subdivision





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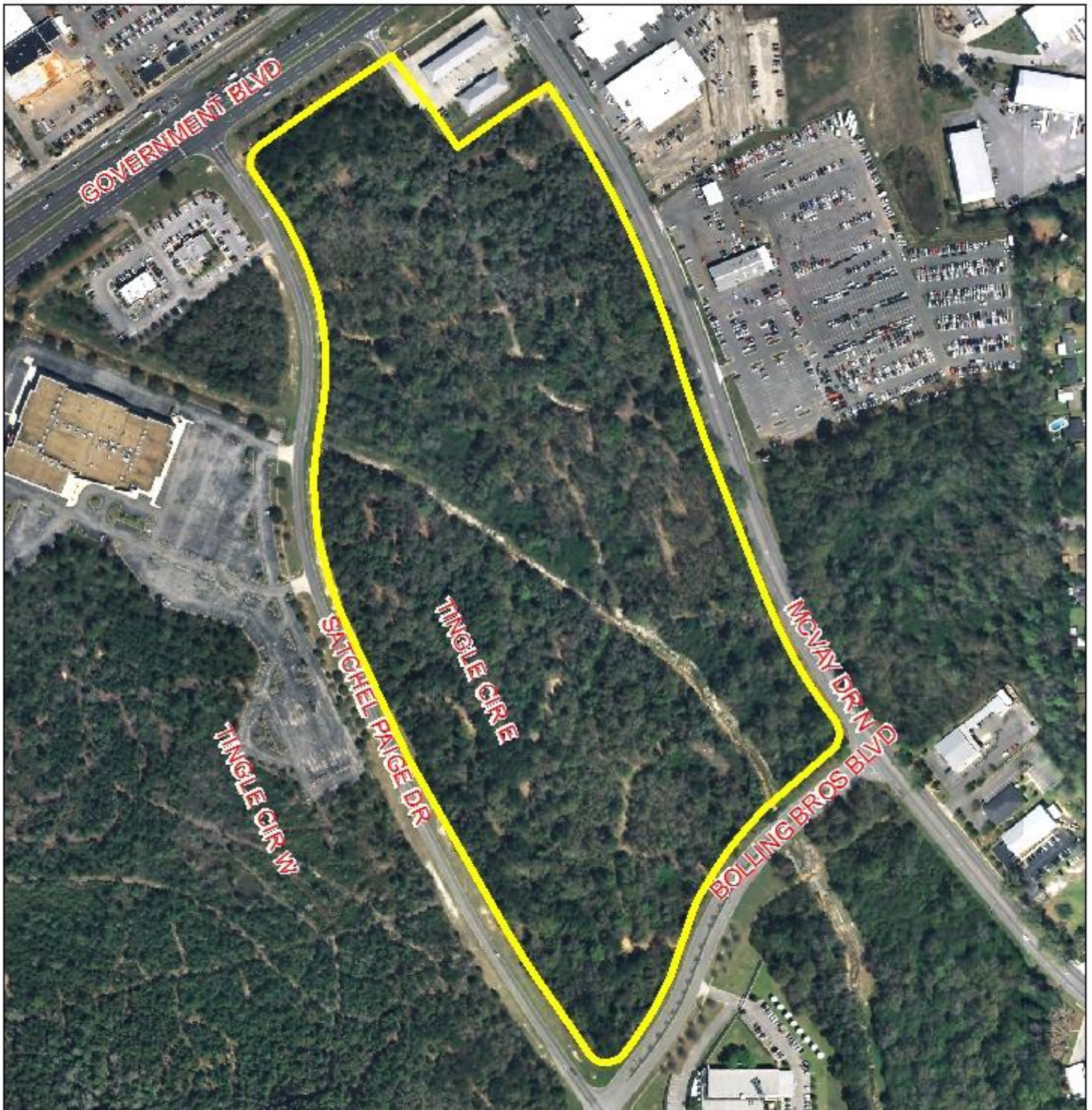
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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





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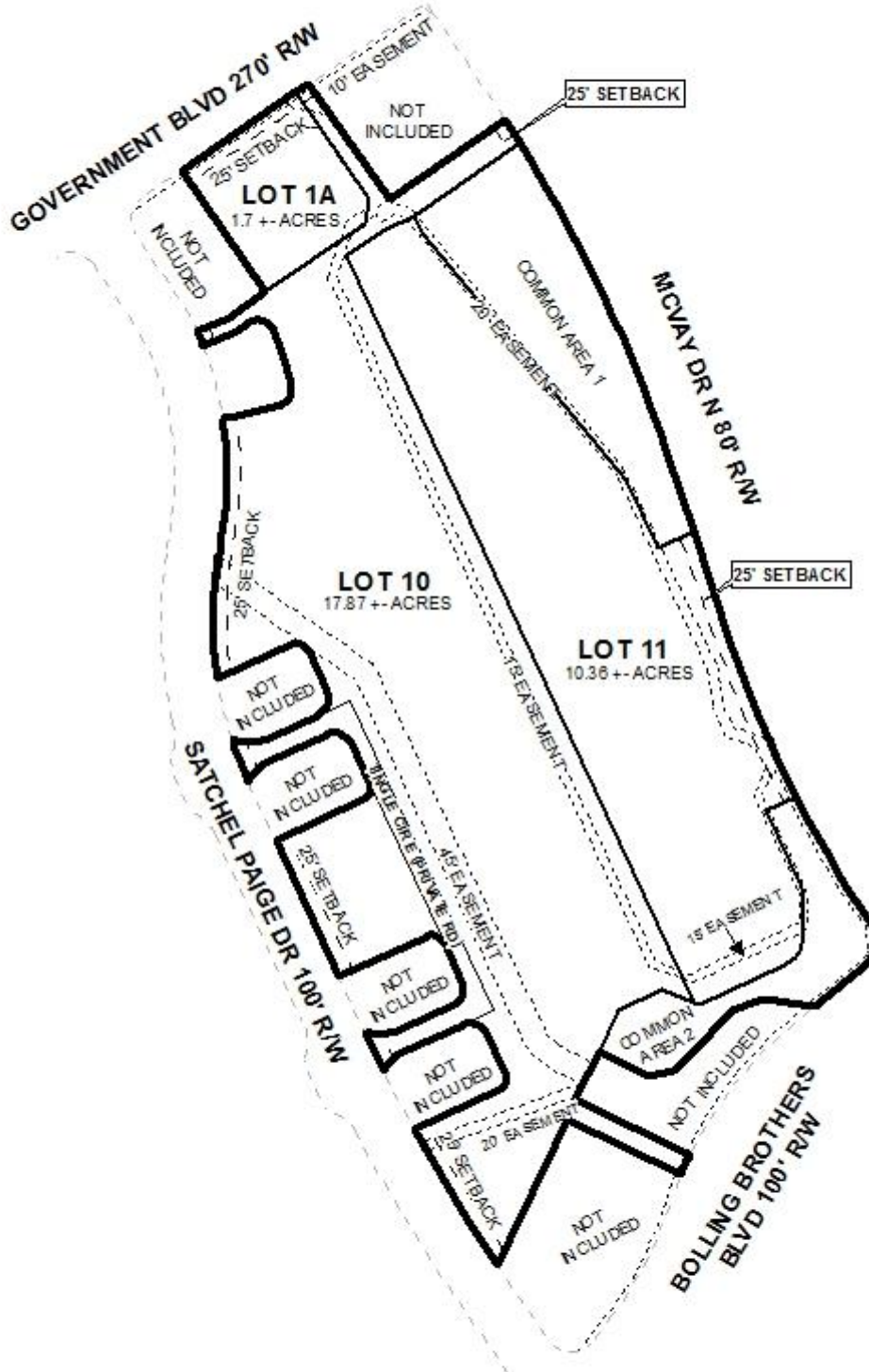


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# DETAIL SITE PLAN



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