

MAGNOLIA SPRINGS ESTATES ADDITION

SUBDIVISION, RESUBDIVISION OF LOTS 6, 7, 12, & 13

Engineering Comments: Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

The plat illustrates the proposed 14.8±-acre, 4-lot subdivision which is located at 6900 Howells Ferry Road, on the North side of Howells Ferry Road, 150'± East of Gentilly Drive West, and running through to the East side of Myland Avenue, 200'± North of Gentilly Drive North, and is in Council District 7. The site is served by public water and sanitary sewer.

The purpose of the application is to resubdivide four existing lots of record.

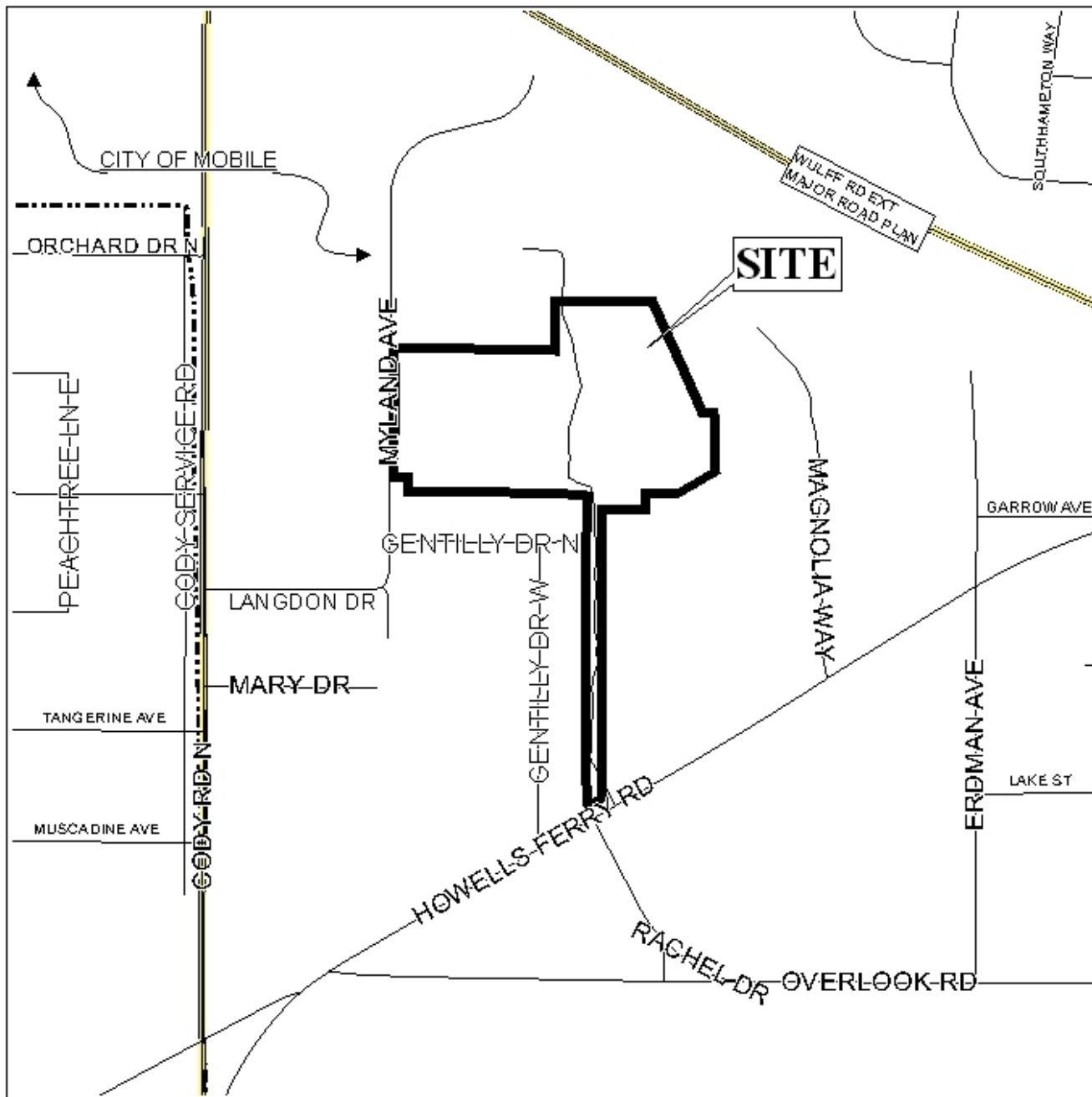
The site fronts Myland Avenue, with a 50-foot right-of-way, and Howells Ferry Road, with an 80-foot right-of-way.

The original subdivision approval, in 1996, was similar to the present one, which simply proposes to realign interior lot lines, and will not significantly alter the lot configuration. However, a waiver of Section V.D.3 of the Subdivision (maximum depth) would still be required to address the flag-shaped nature of Lots 6-A and 7-A. The original subdivision conditions, which follow, should be maintained:

- 1) that a barricade be provided along the west property line, at the termination of Gentilly Drive North;*
- 2) the provision of joint use driveways for Lots 6 and 7, with a minimum paved width of 18 feet each, and reflected on the final plat;*
- 3) that Lot 11 be restricted to the driveway shared with Lot 12 (not included in this application); and*
- 4) the provision of a 25-foot minimum building setback line along all street frontages.*

With a waiver of Section V.D.3 of the Subdivision Regulations, the plat will meet the minimum requirements of the Subdivision Regulations, and is recommended for Tentative Approval subject to the following conditions: 1) that a barricade be provided along the west property line, at the termination of Gentilly Drive North; 2) the provision of joint use driveways for Lots 6 and 7, with a minimum paved width of 18 feet each, and reflected on the final plat; 3) that Lot 11 be restricted to the driveway shared with Lot 12 (not included in this application); and 4) the provision of a 25-foot minimum building setback line along all street frontages.

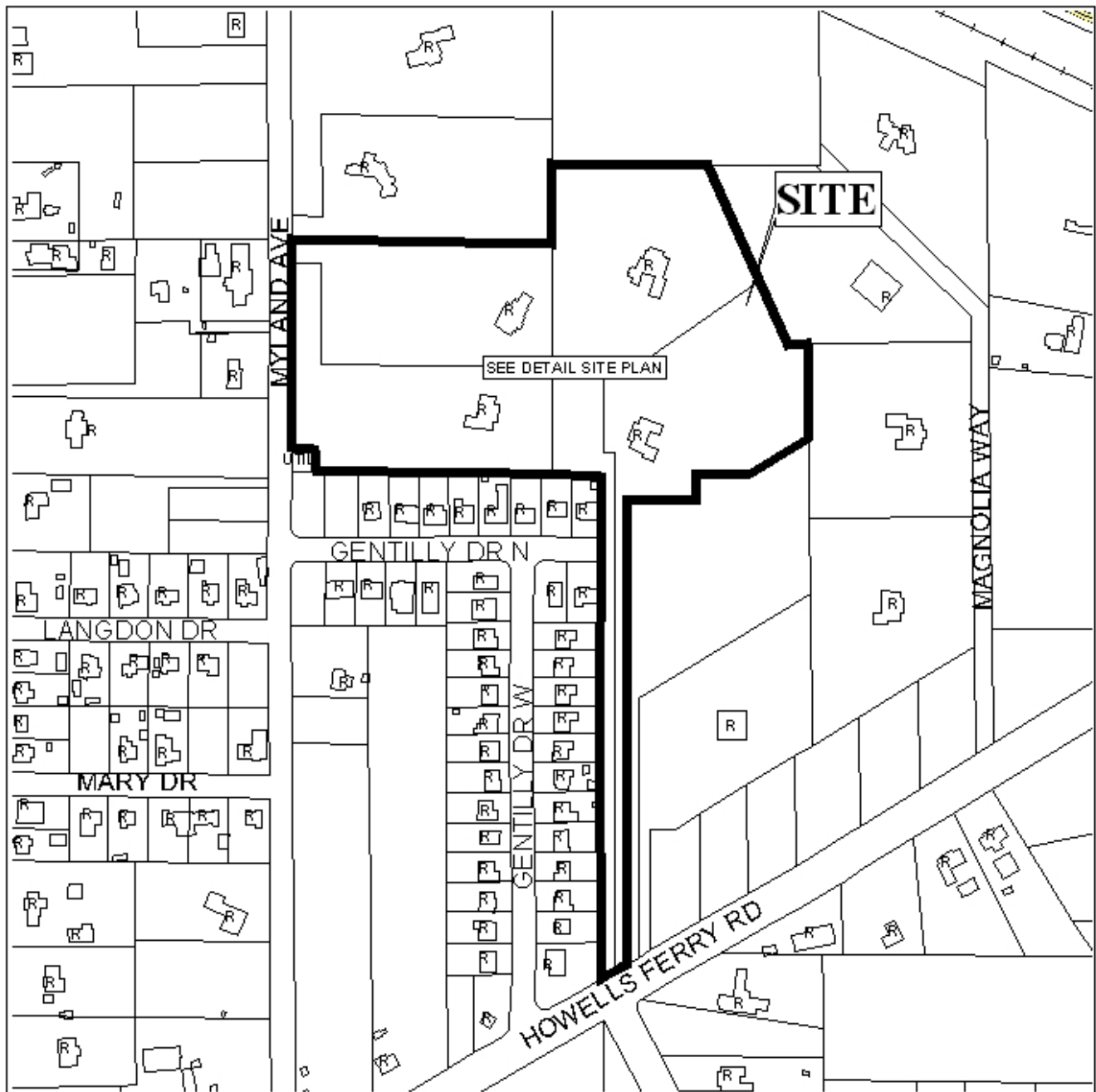
LOCATOR MAP



APPLICATION NUMBER 14 DATE November 3, 2005
APPLICANT Magnolia Springs Estates Addition Subdivision, Resubdivision of Lots 6, 7, 12 and 13
REQUEST Subdivision



MAGNOLIA SPRINGS ESTATES ADDITION SUBDIVISION, RESUBDIVISION OF LOTS 6, 7, 12 AND 13



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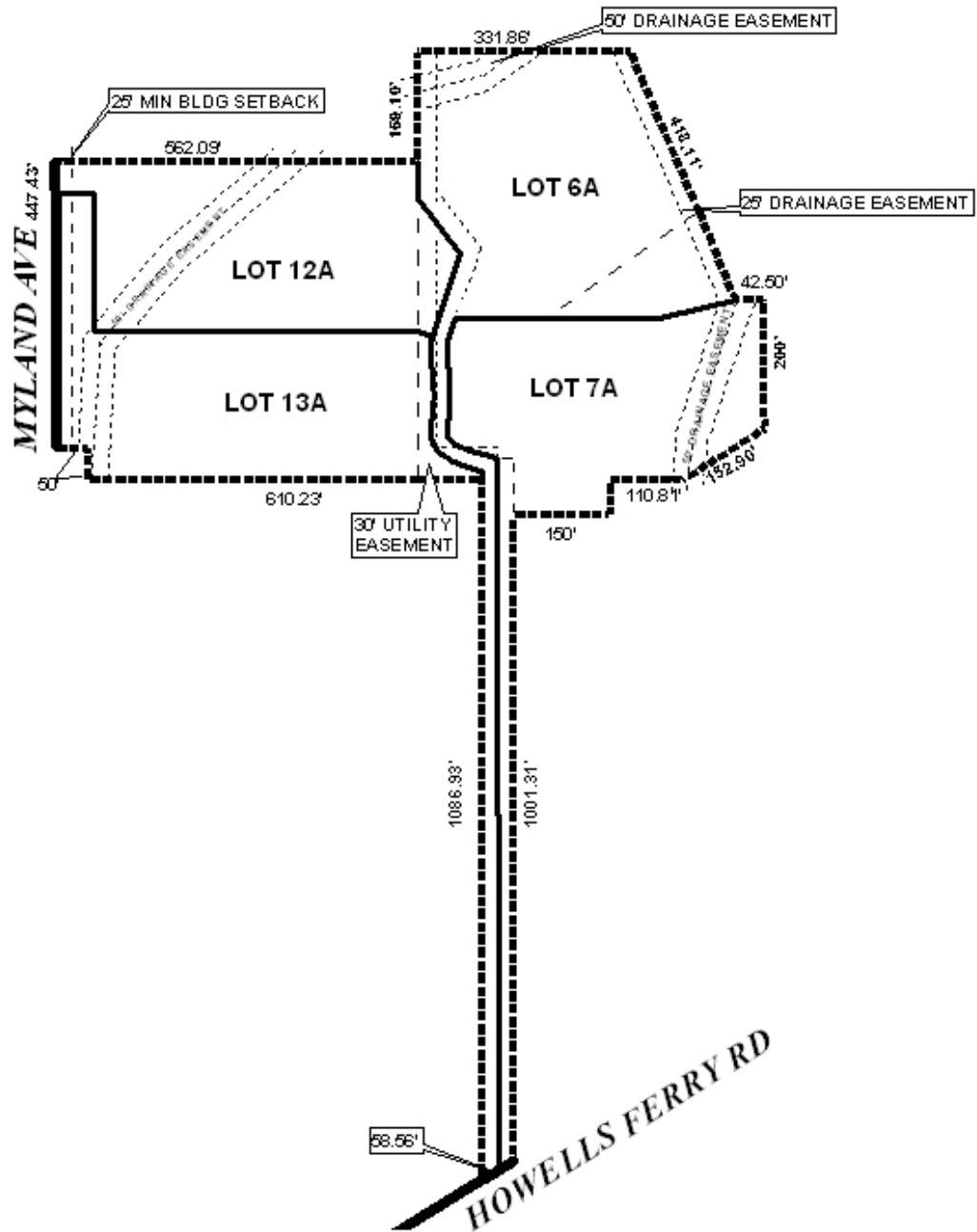
LEGEND

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|---|---|--|---|---|---|---|--|---|--|--|---|--|---|
| R-1 | R-2 | R-3 | R-A | R-B | H-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |
|---|---|--|---|---|---|---|--|---|--|--|---|--|---|



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DETAIL SITE PLAN



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REQUEST Subdivision



NTS