

**PLANNED UNIT DEVELOPMENT  
STAFF REPORT****Date: September 4, 2003**

<b><u>DEVELOPMENT NAME</u></b>	Magnolia Heights Subdivision
<b><u>LOCATION</u></b>	West side of Moffett Road, 371'± South of Powell Drive
<b><u>PRESENT ZONING</u></b>	R-1, Single-Family Residential
<b><u>AREA OF PROPERTY</u></b>	10.6± Acres
<b><u>CONTEMPLATED USE</u></b>	Reduced setbacks in a single-family residential subdivision.
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	Immediate
<b><u>ENGINEERING COMMENTS</u></b>	Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<b><u>TRAFFIC ENGINEERING COMMENTS</u></b>	Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.
<b><u>URBAN FORESTRY COMMENTS</u></b>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (City Code Chapters 57 and 64 and State Act 61-929).
<b><u>REMARKS</u></b>	The applicant is requesting Planned Unit Development approval to allow reduced setbacks in a single-family residential subdivision.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

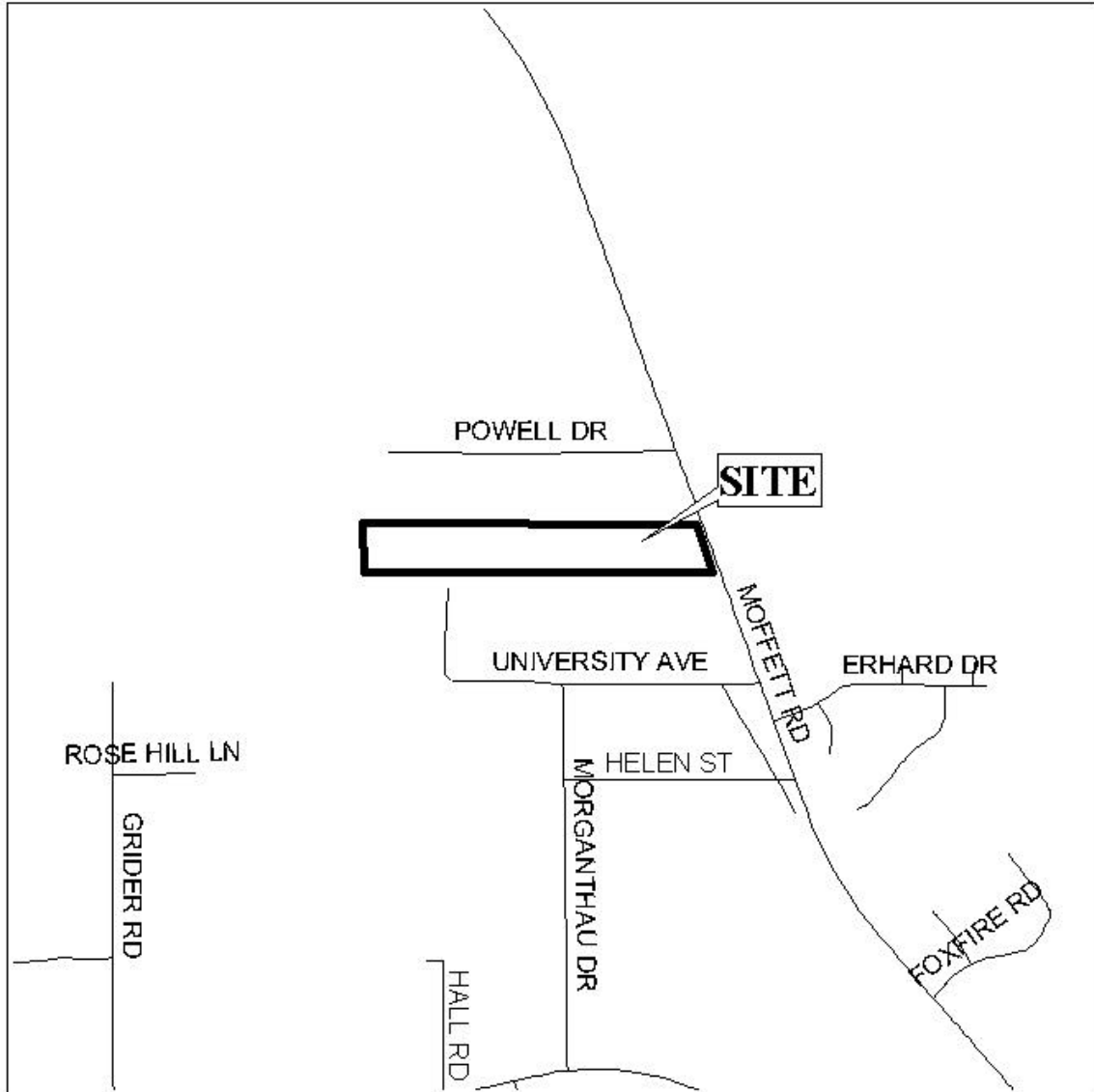
The site received Tentative Approval for the subdivision in November 2002 and streets are currently under construction. The applicant is requesting reduced side yard setbacks (five-foot setbacks) and reduced side street setbacks on Lots 1 and 47, and 28 and 29.

The reduced side yard setbacks will provide a minimum of 10-feet between structures and would thus be consistent with reduced setback requests and approvals of other residential PUDs. Additionally, the 15-foot setback along the minor side street—Clear Creek Drive, would also be consistent with previous PUD approvals. However, a 15-foot setback is proposed along Moffett Road, and although it is a side street in terms of this development, it is an improved major street, thus a minimum setback of 20-feet should be required, in compliance with the standard setback requirements along side streets.

**RECOMMENDATION**

Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) the provision of a 20-foot setback along Moffett Road for Lots 1 and 47; and 2) full compliance with all municipal codes and ordinances.

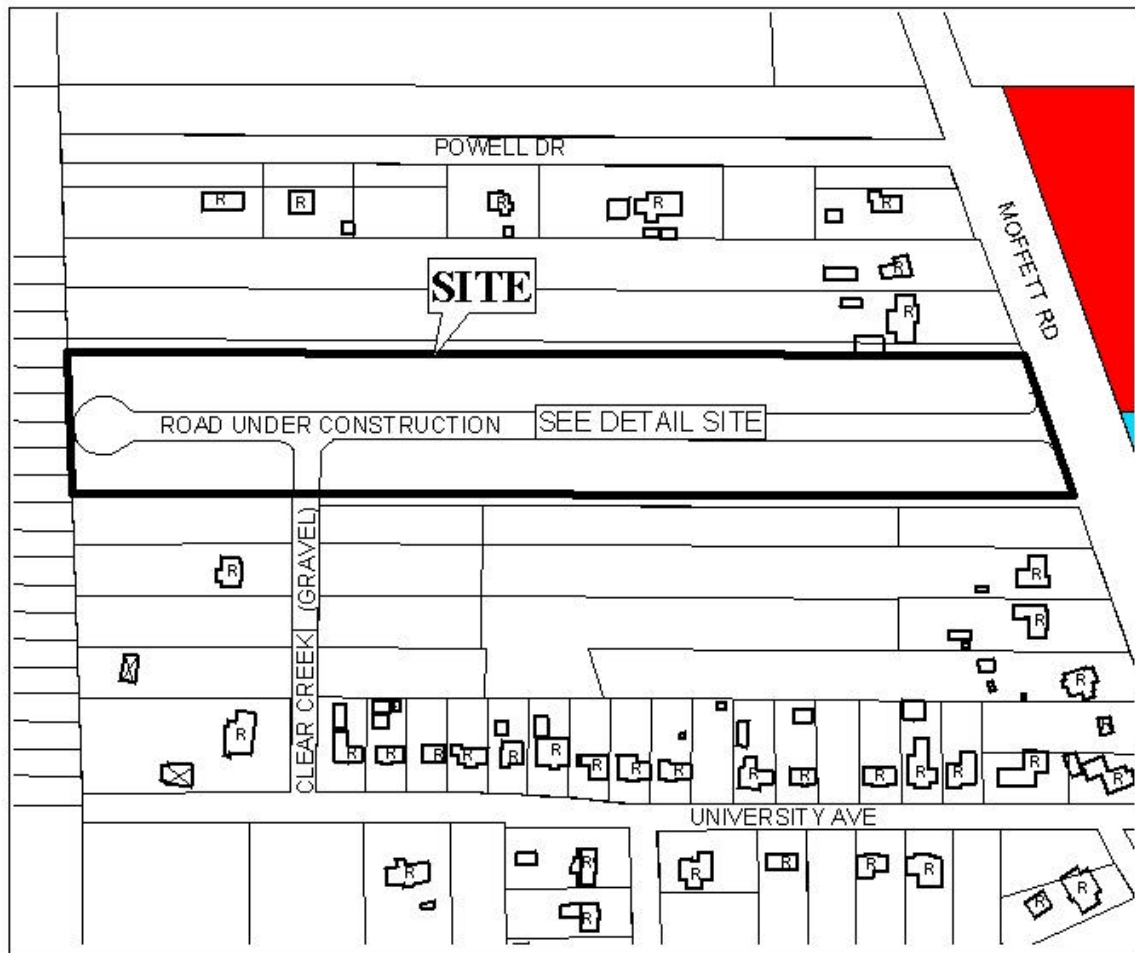
## LOCATOR MAP



APPLICATION NUMBER 14 DATE September 4, 2003  
APPLICANT Magnolia Heights Subdivision  
REQUEST Planned Unit Development

N  
NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



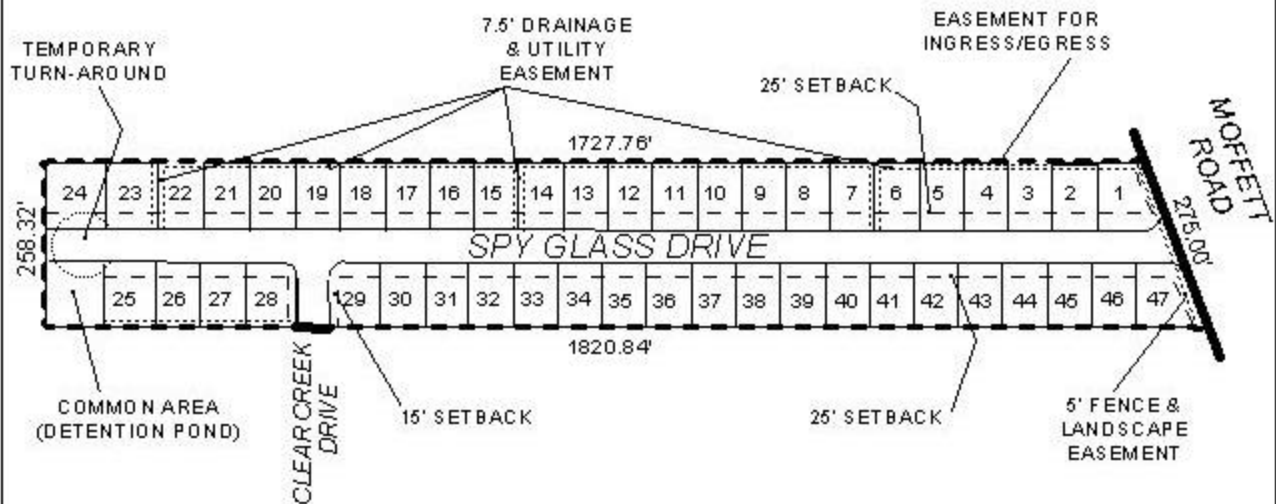
The site is surrounded by single-family residential dwellings.

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LEGEND



# SITE PLAN



The site is located on the West side of Moffett Road, 317' South of Powell Drive.  
The plan illustrates the proposed lots setbacks and easements.

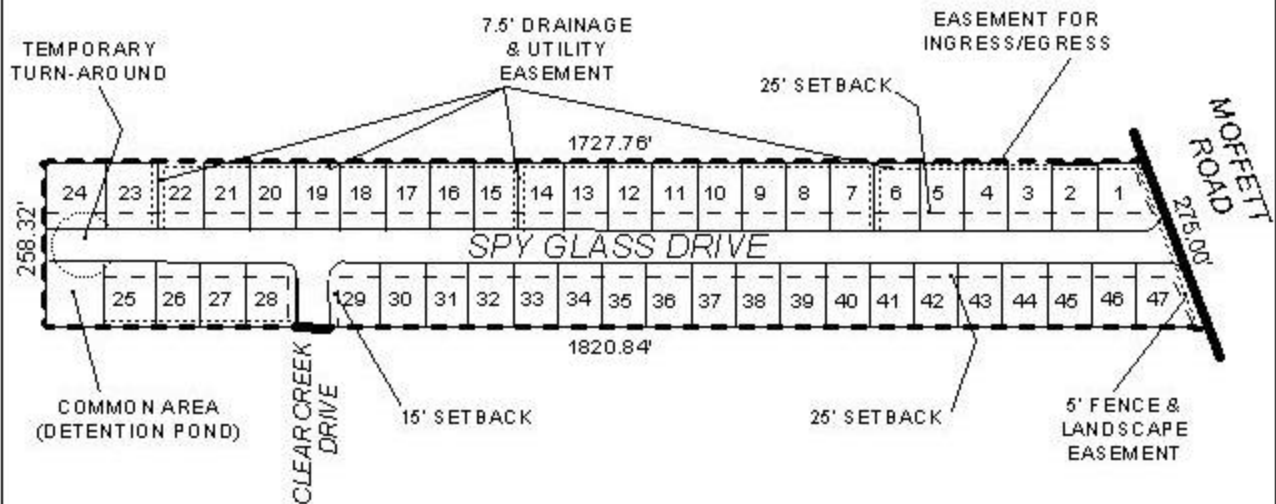
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