

**ZONING AMENDMENT  
& SUBDIVISION STAFF REPORT****Date: April 19, 2012****APPLICANT NAME**

Standard Concrete Products, Inc.

**SUBDIVISION NAME**

Standard Concrete Products, Inc. Subdivision

**LOCATION**7600 Mitsubishi Lane  
(East terminus of Mitsubishi Lane)**CITY COUNCIL  
DISTRICT**

District 4

**PRESENT ZONING**

I-1, Light-Industry and I-2, Heavy Industry

**PROPOSED ZONING**

I-2, Heavy Industry

**AREA OF PROPERTY**

2-Lots/130.3± Acres

**CONTEMPLATED USE**

Subdivision approval to create 2 legal lots of record and Zoning approval to rezone the site from I-1, Light Industry District to I-2, Heavy Industry District, to allow a concrete manufacturing facility.

**It should be noted, however, that any use permitted in the proposed district would be allowed at this location if the zoning is changed. Furthermore, the Planning Commission may consider zoning classifications other than that sought by the applicant for this property.**

**REASON FOR  
REZONING**

Applicant is requesting rezoning of the site because the subdivision of land into building sites makes reclassification of the land necessary and desirable, in order to allow a concrete manufacturing facility if the proposed subdivision is approved.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediately

**ENGINEERING  
COMMENTS**

Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile ROW code and ordinances. Any proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance.

**TRAFFIC ENGINEERING****COMMENTS**

Driveway number, size, location, and design to be approved by Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

**REMARKS**

The applicant is requesting Subdivision approval to create two legal lots of record from four metes and bounds parcels, and Zoning approval to rezone the site from I-1, Light Industry District to I-2, Heavy Industry District, to allow a concrete manufacturing facility in a proposed commercial subdivision.

Approximately 52± acres of the proposed 130.3± acre site is developed and currently used as a concrete manufacturing facility; however, the applicant proposes to expand the concrete manufacturing facility onto an adjoining undeveloped parcel. Therefore, the site must be rezoned to I-2, Heavy Industry to allow the expansion of the concrete manufacturing facility. It should also be noted due to the proposed laydown yard would be located on a separate lot; a Planned Unit Development application would be required to allow shared access on multiple building sites.

As stated in Section 64-9. of the Zoning Ordinance, the intent of the Ordinance and corresponding Zoning Map is to carry out the comprehensive planning objective of sound, stable and desirable development. While changes to the Ordinance are anticipated as the city grows, the established public policy is to amend the ordinance only when one or more of the following conditions prevail: 1) there is a manifest error in the Ordinance; 2) changing conditions in a particular area make a change in the Ordinance necessary and desirable; 3) there is a need to increase the number of sites available to business or industry; or 4) the subdivision of land into building sites makes reclassification of the land necessary and desirable.

The site appears to be depicted as primarily commercial on the General Land Use Component of the Comprehensive Plan, which is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. The accuracy of recommended land uses on the General Land Use Component map is limited due to the large scale of the map. Moreover, the General Land Use Component allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the

surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and zoning classification.

The applicant's justification for rezoning is that subdivision of land into a building site makes reclassification of the land necessary and desirable, and to allow a concrete manufacturing facility if the proposed subdivision is approved.

The site abuts I-2 industrial properties to the East, I-1, property to the North and property within the county used as industrial to the South, and R-A, Residential-Agriculture West of the site. The proposed rezoning to I-2 may be justified due the location at the end of a 260± feet width canal from Mobile Bay with an approximate 250-foot radius-turning basin. Additionally, it could be considered a natural setting to locate a manufacturing facility within the immediate vicinity rail, barge/ship and interstate highway transportation and within close proximity of the Gulf of Mexico.

The site plan submitted illustrates approximately 109 parking spaces; however, no detail of the square footage of office space or the number of manufacturing employees on site were included, to calculate the minimum requirements of the Zoning Ordinance. However, no information is provided regarding the landscaping percentages or the location or number of the required trees. Detailed information must be provided so that staff can determine if the site meets tree and landscape requirements. Also, the location of all dumpsters with screening should be illustrated on the site plan as well. The site plan illustrates no parking within the 25-foot minimum building setback along Spring Hill Avenue and Mobile Infirmary Boulevard; thereby, providing more than the required landscaping for the entire site. Full compliance with the tree requirements of the Zoning Ordinance would be required as well and given the green space provided, there should be adequate space for the tree plantings. Also, preservation status is to be given to the 48" Live Oak Tree located on the North side of Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The two proposed lots, as depicted, meet the minimum size as regulated by the Subdivision Regulations. The lot area sizes are depicted on the preliminary plat in square feet/acres, and should be retained on the Final Plat, if approved. Proposed Lots 1 and 2, from parcel data information seems to be accessed by an easement to Mobile County providing a minimum width of 100-feet. . As these sites are owned by the Alabama State Port Authority and/or the Industrial Development Board, are not subject to subdivision and zoning regulations; however, the Industrial Development Board does not propose to sell these properties to private companies but wishes to create legal lots of records and to eliminate the split zoning to complete the long term lease.

The site plan does not indicate parking calculations, the number of parking spaces/areas, dumpster locations (if any), trees, fencing, or any landscaping the site. As such, it is impossible to evaluate request until a proper site plan showing all site improvements and features, as well as parking calculations and parking areas, is submitted in a larger format.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

The entire site may be located within the flood zone as depicted on FEMA maps for the Mobile Bay area, and the site may be subject to hurricane storm surges. The presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

### **RECOMMENDATION**

**Rezoning:** Based upon the preceding, the Rezoning request is recommended for Approval, subject to the following conditions:

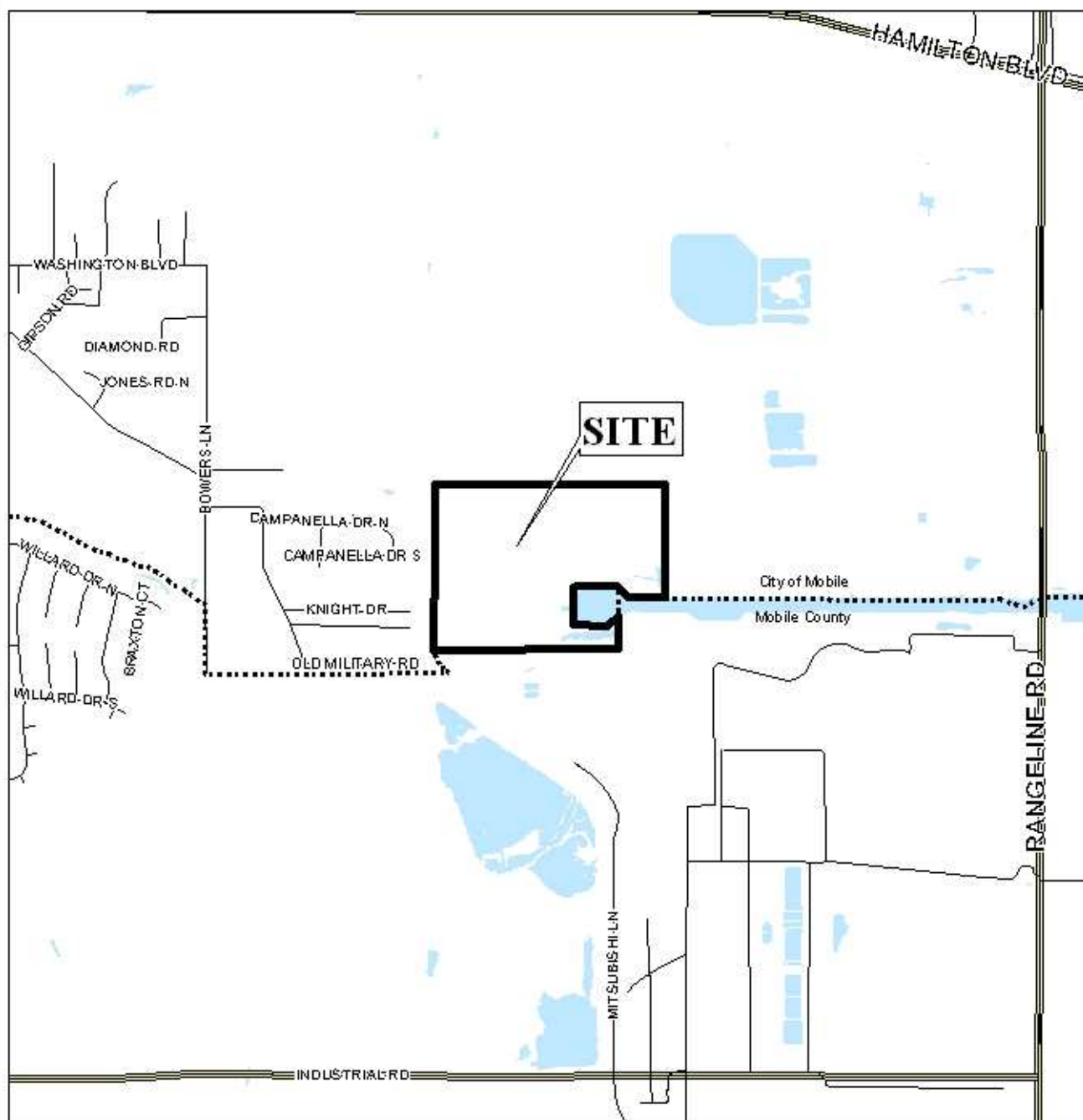
- 1) completion of the subdivision process;
- 2) submission and approval of a Planned Unit Development (PUD) application to the Planning Commission;
- 3) compliance with the landscaping and tree requirements of the Zoning Ordinance; and,
- 4) full compliance with all municipal codes and ordinances.

**Subdivision:** The Subdivision request is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the plat limiting the development to the existing curb cuts, if any new curb cuts are proposed, the size, location, and design to be approved by Traffic Engineering, in conformance to AASHTO standards;
- 2) labeling of the lot with its size in square feet;
- 3) provision of the 25-foot minimum building setback line along 100-foot easement;
- 4) approval of a Planned Unit Development (PUD) application to the Planning Commission prior to the signing of the Final Plat;
- 5) placement of a note on the Final Plat stating that approval of all applicable federal, state, and local agencies for endangered, threatened, or otherwise protected species is required prior to the issuance of any permits or land disturbance activities;
- 6) compliance with Engineering comments (*Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile ROW code and ordinances. Any proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance.*);

- 7) compliance with Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.); and,*
- 8) completion of the Subdivision process prior to any application for land disturbance or building permits.

## LOCATOR MAP



APPLICATION NUMBER 14 & 15 DATE April 19, 2012

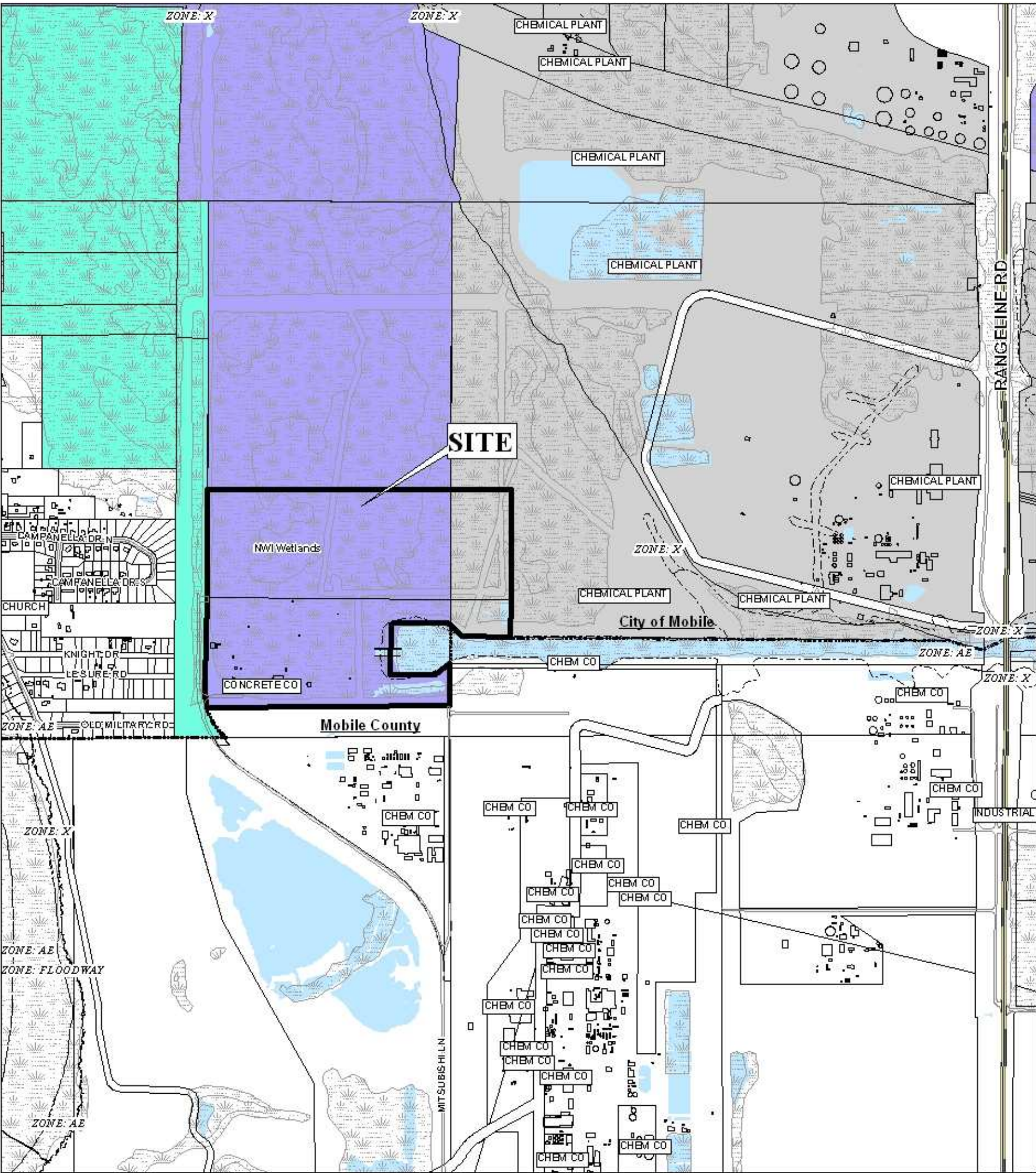
APPLICANT Standard Concrete Products Inc.

REQUEST Subdivision, Rezoning from I-1 and I-2 to I-2





PLANNING COMMISSION  
VICINITY MAP - EXISTING ZONING

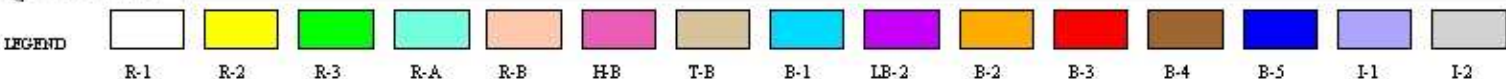


Residences are located to the west of the site. Industrial facilities are located to the north and south of the site.

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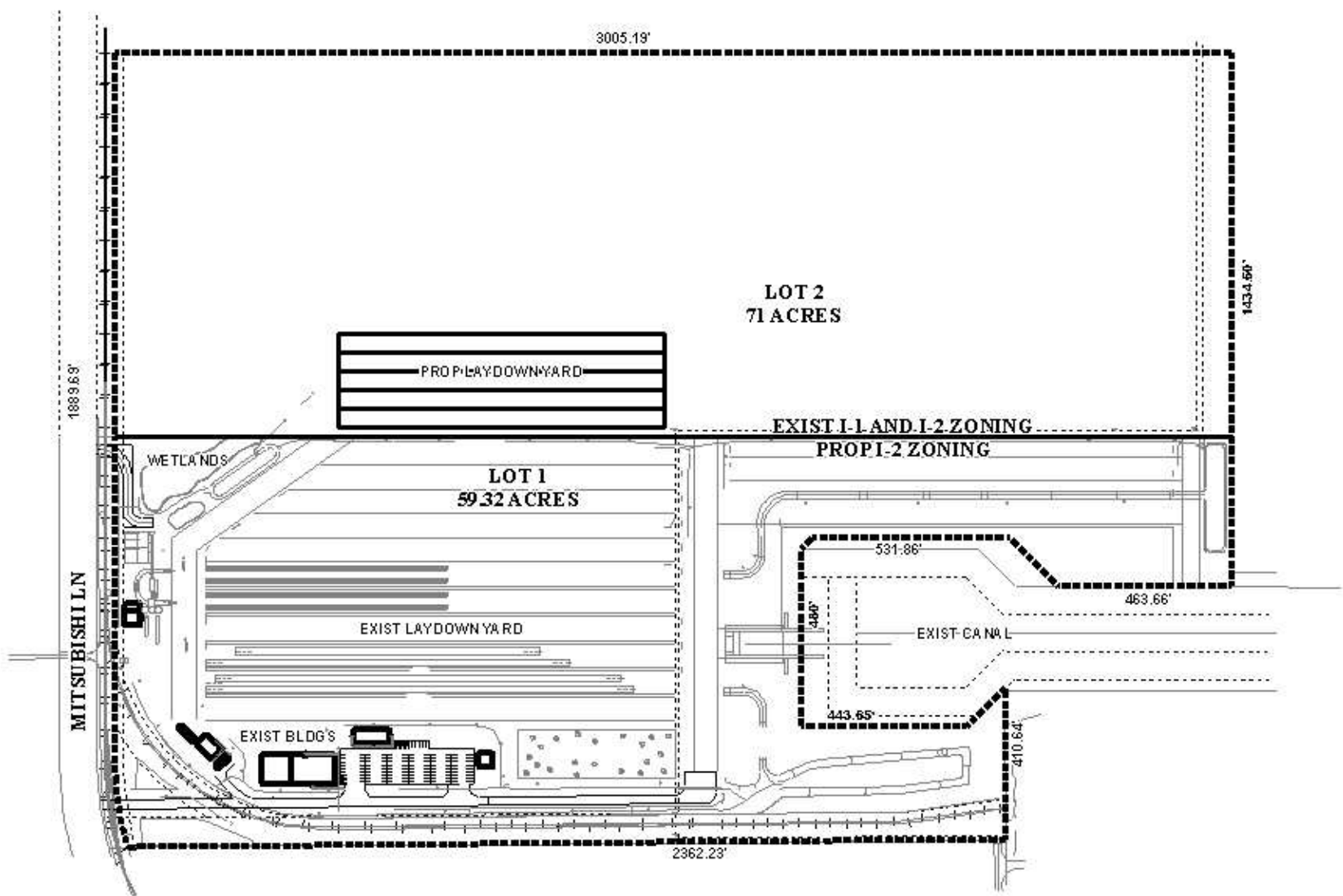
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SITE PLAN



The site plan illustrates the existing concrete manufacturing facility and proposed laydown yard.

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