

**PLANNING APPROVAL,
PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT**

Date: March 5, 2009

<u>NAME</u>	Ashland Place United Methodist Church, Inc.
<u>SUBDIVISION NAME</u>	Ashland Place UMC Subdivision
<u>LOCATION</u>	5, 7 and 15 Wisteria Avenue, 2315 Old Shell Road and 2312 Dauphin Street (Southwest corner of Old Shell Road and Wisteria Avenue, extending to the North side of Dauphin Street, 160'± West of Wisteria Avenue, and 380'± West of Wisteria Avenue)
<u>CITY COUNCIL DISTRICT</u>	District 1
<u>PRESENT ZONING</u>	R-1, Single-Family Residential District
<u>AREA OF PROPERTY</u>	2 Lots / 4.6± Acres – Subdivision 1 Lot / 3.96 ± Acres – PUD and Planning Approval
<u>CONTEMPLATED USE</u>	Planning Approval to amend a previously approved Planning Approval to allow the construction of an administrative office, classroom building, outdoor patio and expanded retention pond in an R-1, Single-Family Residential District, Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow the construction of an administrative office, classroom building, outdoor patio and expanded retention pond at an existing church, and Subdivision approval to create two lots.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediate
<u>ENGINEERING COMMENTS</u>	Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<u>TRAFFIC ENGINEERING COMMENTS</u>	Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is requesting Planning Approval to amend a previously approved Planning Approval to allow the construction of an administrative office, classroom building, outdoor patio and expanded retention pond in an R-1, Single-Family Residential District, Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow the construction of an administrative office, classroom building, outdoor patio and expanded retention pond at an existing church, and Subdivision approval to create two lots. Churches require Planning Approval when located in R-1 districts.

The site was the subject of Subdivision, Planned Unit Development and Planning Approval applications that were approved with conditions by the Planning Commission at its December 7, 2006 meeting, which included proposed building expansion plans for the church. Subdivision, PUD and Planning Approval applications approved by the Planning Commission at its July 10, 2008 meeting did not include any of the building expansions approved in 2006, thus superseding previous approvals.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

PUD approval and Planning Approval are site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

The site plan indicates approximately 80 parking spaces, but no information is provided regarding the number of seats in the sanctuary, size of any proposed additions, size of other existing office/residential structures, nor calculations regarding tree and landscape requirements. As facility expansion is proposed, detailed information must be provided so that staff can determine if the site meets all parking, tree and landscape requirements.

Prior staff reports have recommended that the church site be limited to one curb-cut onto each street frontage, thus the applicant should take this into consideration: if the applicant wishes the curb-cut serving the current church office to remain, a statement to that effect with justification should be included. Also, a variance will be required for the gravel parking area, if the applicant wishes the parking area next to the church office to remain, and to be surfaced in gravel.

The two remaining residential structures fronting onto Wisteria Avenue have been an area of concern raised by neighbors during previous applications. The applicant should include information regarding the current, proposed, or anticipated future use of the structures.

Regarding the Subdivision plat and the site plans, the notes regarding setbacks from rights-of-way should also be depicted and labeled on the drawing.

RECOMMENDATION

Planning Approval: The request is recommended for Holdover until the April 2nd meeting, with 7 copies of the revised site plan and statement due by March 20th, so that the following revisions can be made:

- 1) Revision of the site plan (and amendment of the statement) to include information regarding existing seating in the sanctuary, size of proposed new construction, and size of all other existing structures;
- 2) Revision of the site plan to depict full compliance with the tree and landscaping requirements of the Zoning Ordinance;
- 3) Revision of the site plan to show only one curb-cut onto each street, or provision of justification regarding why additional curb-cuts should be allowed;
- 4) Revision of the site plan to remove gravel parking area next to existing church office, or justification of its remaining, and submittal of application to Board of Adjustment for variance for gravel parking;
- 5) Revision of the statement to indicate existing, proposed or anticipated use of the existing residential structures that front onto Wisteria Avenue; and
- 6) Depiction of required setbacks, in addition to the notes placed on the site plan.

Planned Unit Development: The request is recommended for Holdover until the April 2nd meeting, with 7 copies of the revised site plan and statement due by March 20th, so that the following revisions can be made:

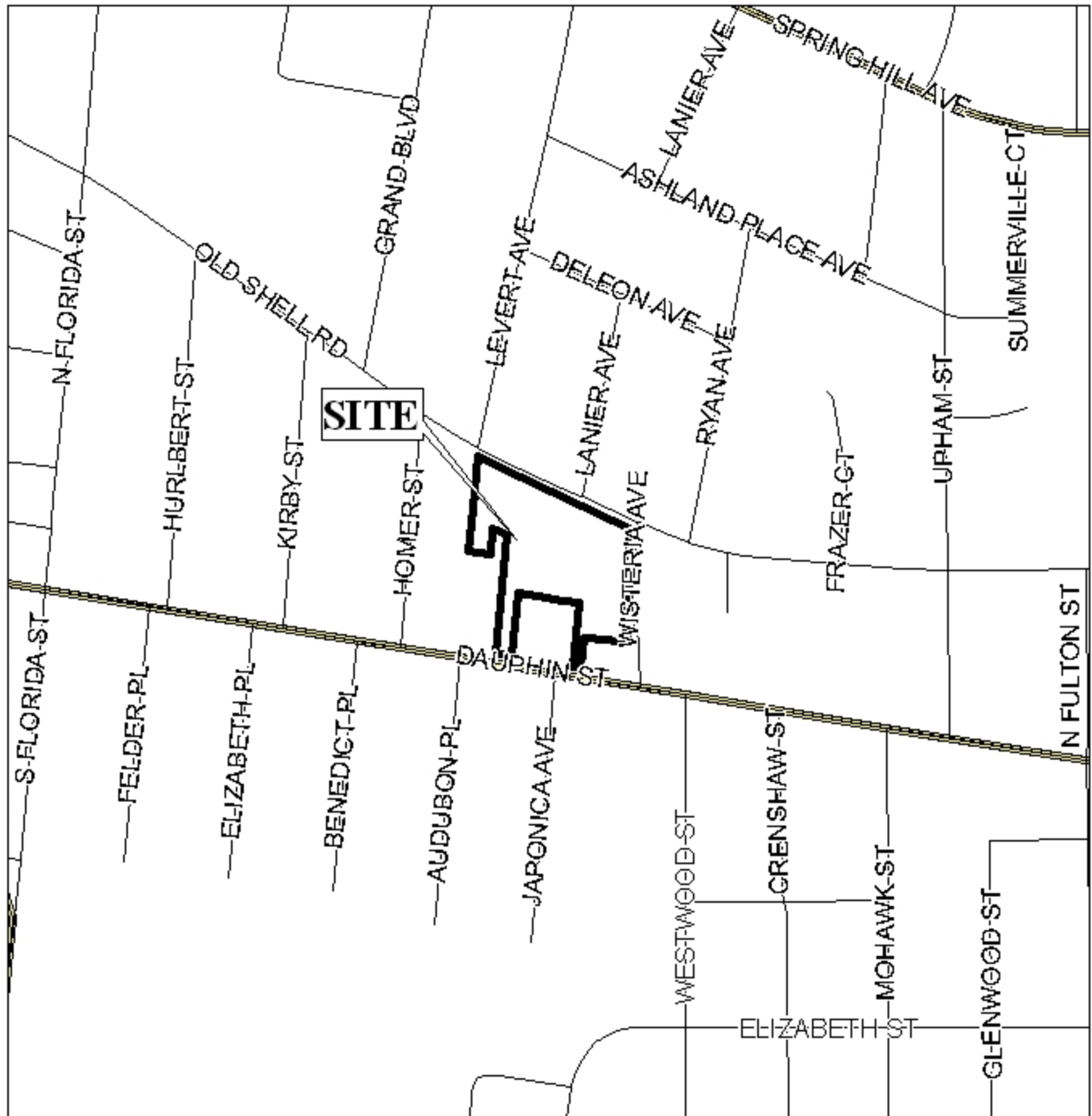
- 1) Revision of the site plan (and amendment of the statement) to include information regarding existing seating in the sanctuary, size of proposed new construction, and size of all other existing structures;
- 2) Revision of the site plan to depict full compliance with the tree and landscaping requirements of the Zoning Ordinance;
- 3) Revision of the site plan to show only one curb-cut onto each street, or provision of justification regarding why additional curb-cuts should be allowed;
- 4) Revision of the site plan to remove gravel parking area next to existing church office, or justification of its remaining, and submittal of application to Board of Adjustment for variance for gravel parking;
- 5) Revision of the statement to indicate existing, proposed or anticipated use of the existing residential structures that front onto Wisteria Avenue; and

- 6) Depiction of required setbacks, in addition to the notes placed on the site plan.

Subdivision: The request is recommended for Holdover until the April 2nd meeting, with 7 copies of the revised preliminary plat due by March 20th, so that the following revision can be made:

- 1) Depiction and labeling of the 25-foot minimum building setback line from Old Shell Road and Wisteria Avenue, and depiction and labeling of the minimum building setback line along Dauphin Street so that it is 75-feet from the centerline.

LOCATOR MAP



APPLICATION NUMBER 14, 15, 16 DATE March 5, 2009
APPLICANT Ashland Place United Methodist Church, Inc.
REQUEST Subdivision, Planning Approval, PUD



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential land use

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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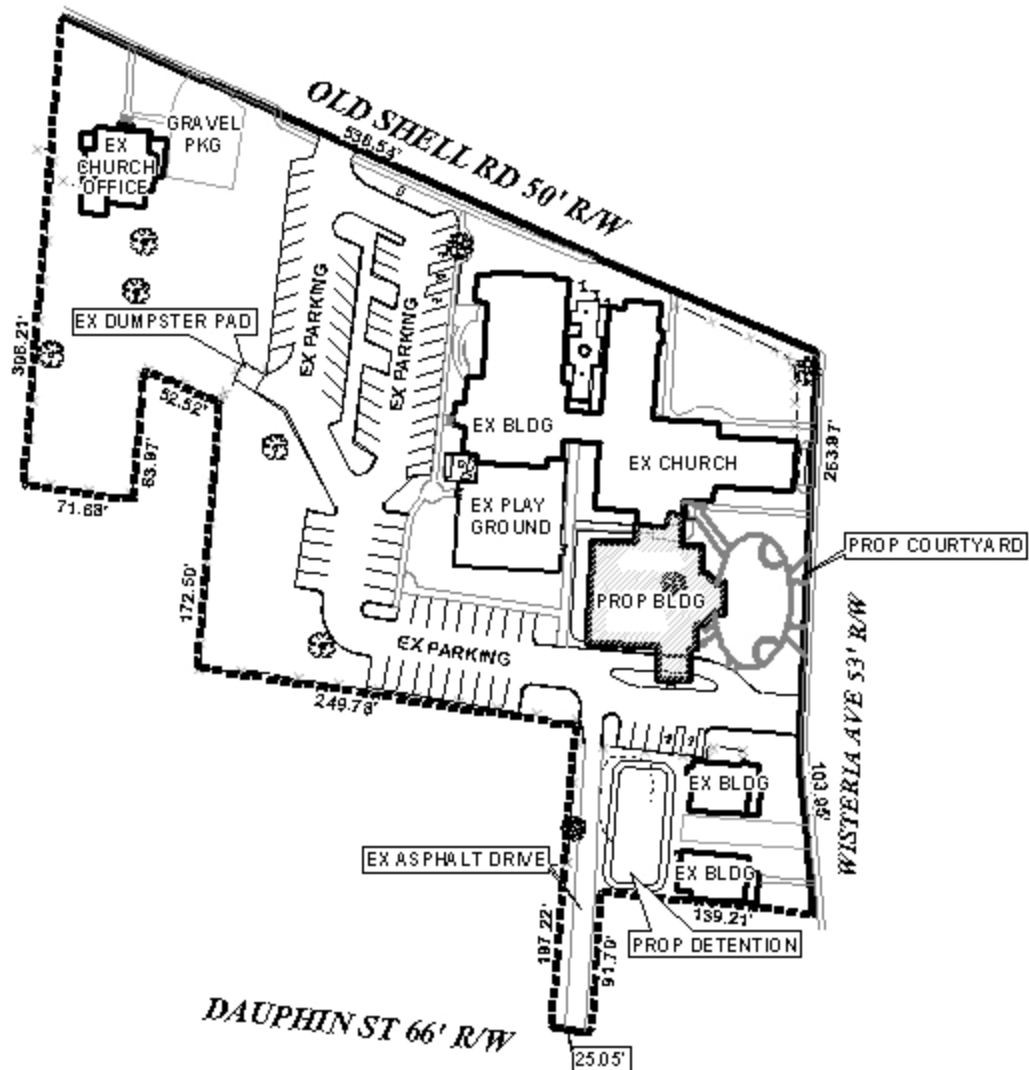
SUBDIVISION PLAT



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SITE PLAN



The site plan illustrates the existing church facility, proposed bldg addition, and proposed courtyard

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