

ROLLING BRANCH ESTATES SUBDIVISION, 1ST AND 2ND ADDITION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 12.0 ± acres, 22 lot subdivision which is located on the West side of Lundy Road, 185' ± South of Huber Road, extending West and South to the North terminus of Teal Lane. The subdivision is served by public water and septic sewer systems.

The purpose of this application is to subdivide a legal lot of records and multiple metes and bounds parcels into 22 lots.

As proposed, Lots 10 and 11 would have frontage along the new street and Teal Lane. Access should be denied to Teal Lane as it is an unimproved road (dirt); therefore, the placement of note on the final plat stating that Lots 10 and 11 are denied access to Teal Lane should be required.

As illustrated on the site plan, there is a piece of property to the west that is landlocked and the staff has received a letter from the property owner stating that he does not want to participate in the subdivision. This landlocked parcel is access via a dirt driveway from Huber Road and the parties now involved did not create this problem. It should be noted that the no permits would be issued to the landlocked piece of property until a subdivision application is submitted and approved.

As shown on the site plan, there is an area at the southwest corner of the subdivision, adjacent to Lots 8, 9 and 19, that is labeled as common area; therefore, a note should be placed on the final plat stating that the maintenance thereof is the responsibility of the property owners.

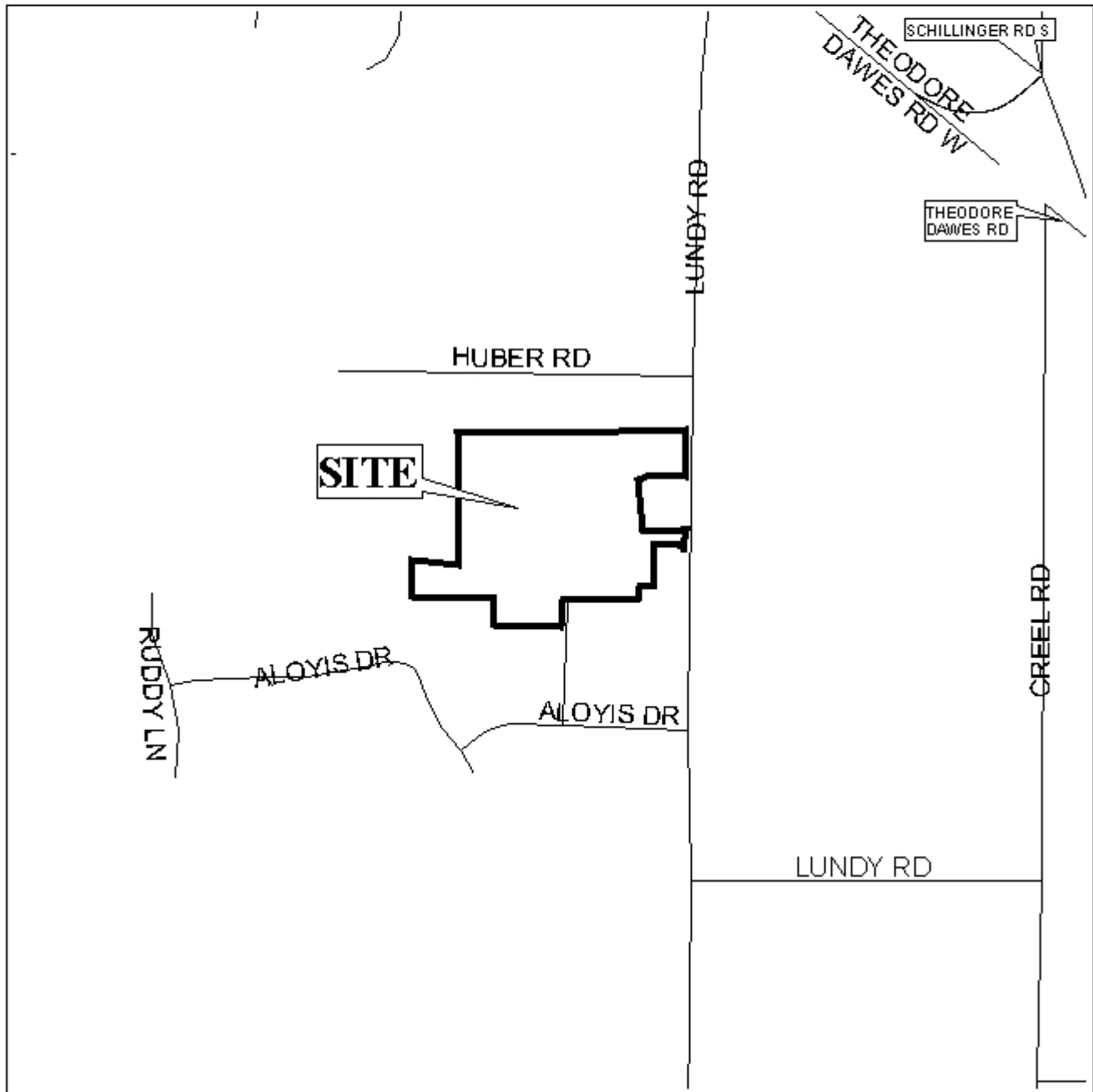
As illustrated on the Vicinity Map, the site contains wetlands, thus this area could be considered environmentally sensitive; therefore, the developer must obtain any necessary federal, state, and local environmental approvals.

This site is located in the County, thus a note should be placed on the final plat stating that any lots which are developed commercially, and adjoin residentially developed property, must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The 25-foot minimum building setback line is not shown but would be required on the final plat.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the placement of note on the final plat stating that Lots 10 and 11 are denied access to Teal Lane; 2) the area in the southwest corner of the subdivision, to the rear of Lots 8, 9 and 19 to be labeled as common area and a note placed on the final plat stating that the maintenance thereof is the responsibility of the property owners; 3) the placement of a note on the final plat stating any lots which are developed commercially, and adjoin residentially developed property, must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; and 4) the placement of the 25-foot minimum building setback line on the final plat.

LOCATOR MAP



APPLICATION NUMBER 14 DATE July 1, 2004

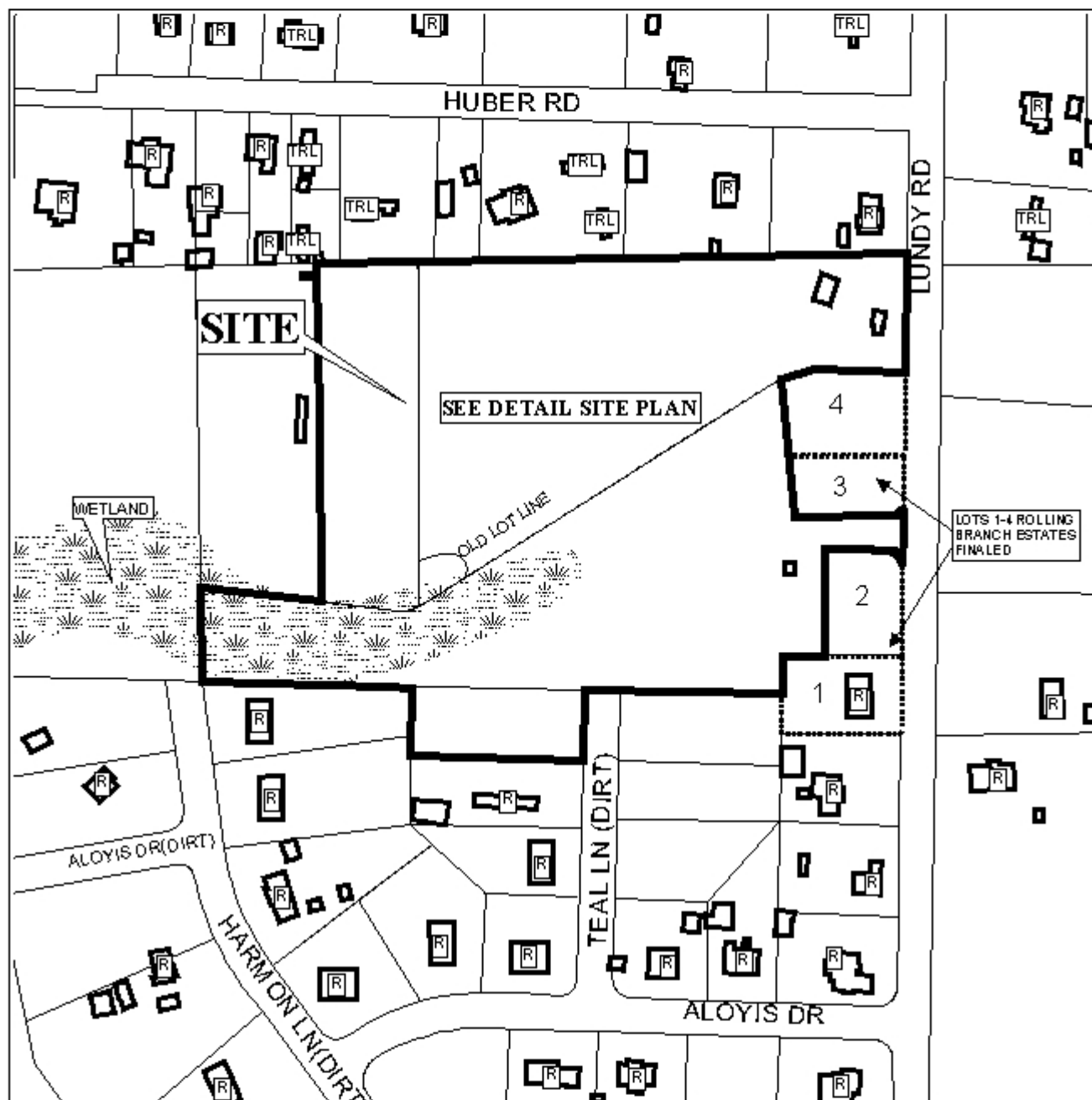
APPLICANT Rolling Branch Estates Subdivision, 1st and 2nd Addition

REQUEST Subdivision



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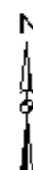
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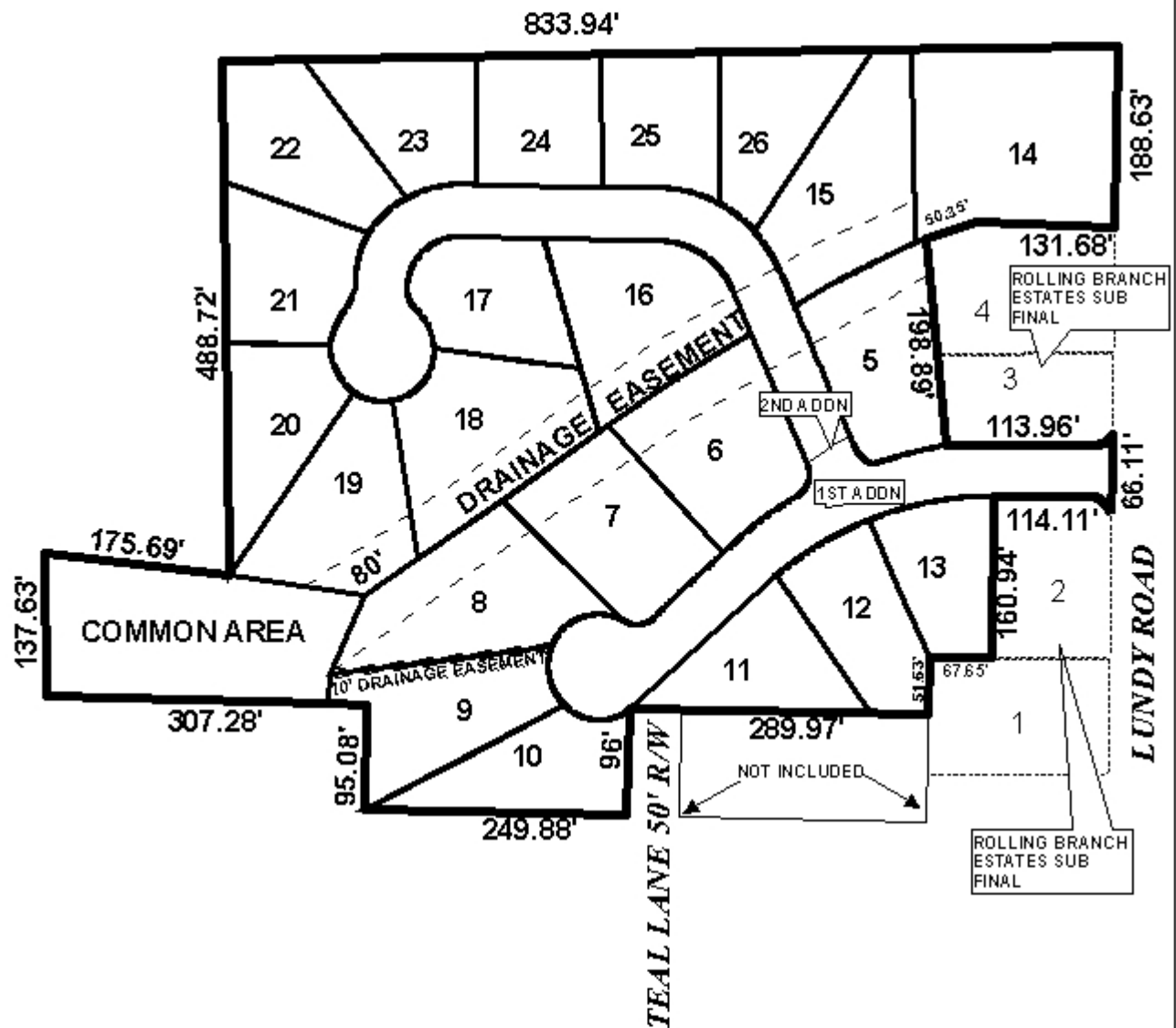
LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



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DETAIL SITE PLAN



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REQUEST Subdivision



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