

RIVIERE DU CHIEN WOODS SUBDIVISION, **LLOYD STATION UNIT, LIPSCOMB-JONES** **ADDITION TO**

Engineering Comments: No City of Mobile maintained outfall available for storm water drainage. Therefore, storm water detention for 100-year storm with 10-year release rate will be required. Stormwater release onto adjacent property cannot be increased or concentrated without a hold harmless agreement from adjacent property owners. Development of property must comply with all stormwater management and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The plat illustrates the proposed 9 lot, 4.4± acre subdivision which is located on the South side of Lloyd Station Road, 500' ± East of Riviere du Chien Road. The site is served by city water and sanitary facilities.

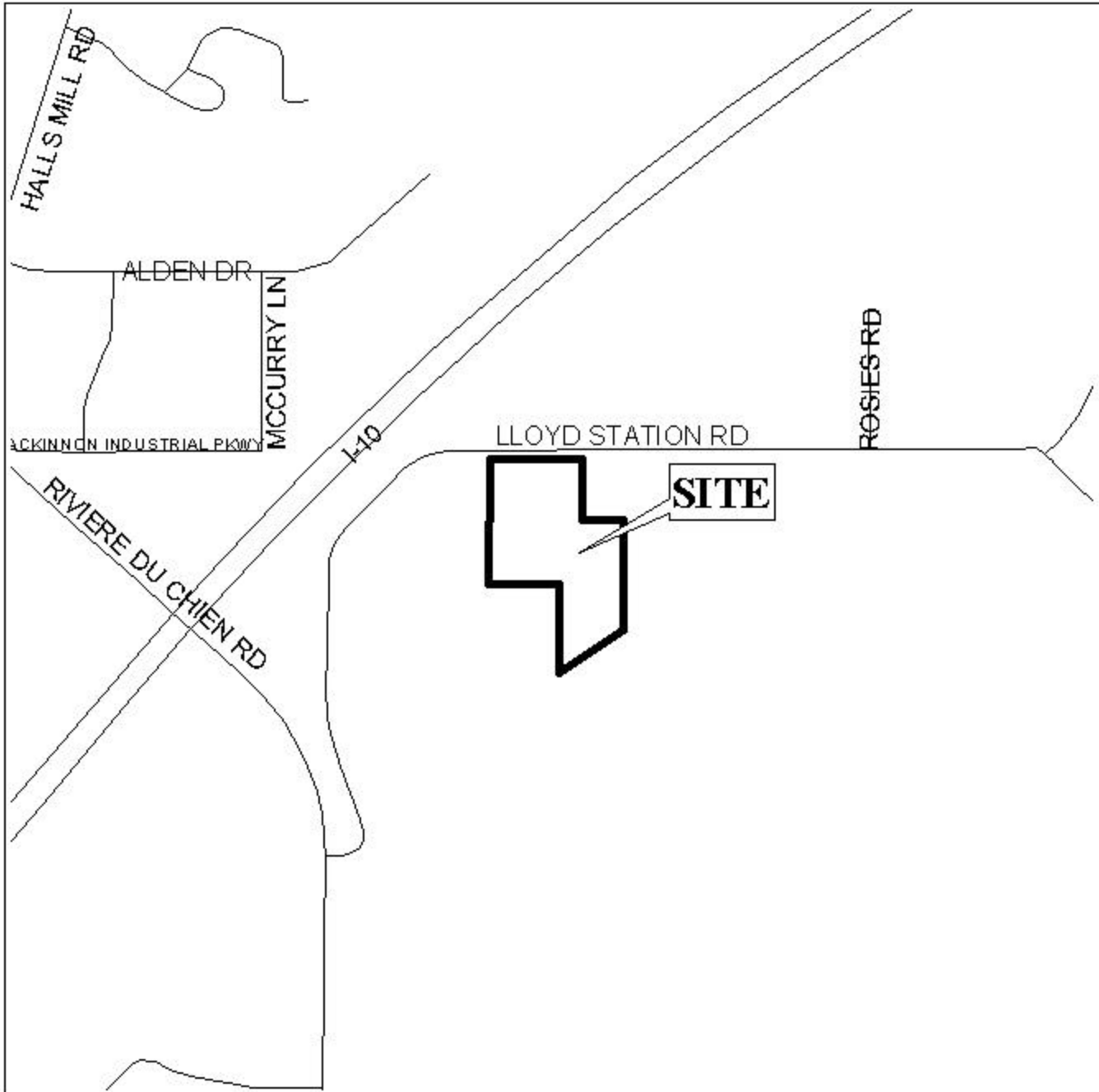
This application is the result of an expired subdivision application that was approved by the Commission in November 1999. The November 1999 subdivision application was a result of a lawsuit, whereby the Court required the property owners to consolidate property that was conveyed via metes and bounds with existing lots of record.

As illustrated on the plat, the subdivision consists of nine-lots; three lots are fronting Lloyds Station Road and the remaining lots will front a private street. While the Subdivision Regulations allow a maximum of five lots on a private street, the Court required the division of property as submitted.

The proposed development consists of two families dividing property and would only exceed the number of lots allowed on a private street by one lot. The three lots fronting Lloyds Station Road must be denied access to the private street. Additionally, the private street must be constructed to private street standards as outlined in Section VIII.E.2. of the Subdivision Regulations, including the submission of all necessary engineering documentation and certifications prior to the recording of Lots B, C, D, E, F and J.

With modifications, the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the placement of a note on the final plat stating that Lots A, G and H are denied access to the private street; and 2) that the private street be constructed to the standards as set forth in Section VIII.E.2. of the Subdivision Regulations, including the submission of all necessary engineering documentation and certifications prior to the recording of Lots B, C, D, E, F and J.

LOCATOR MAP



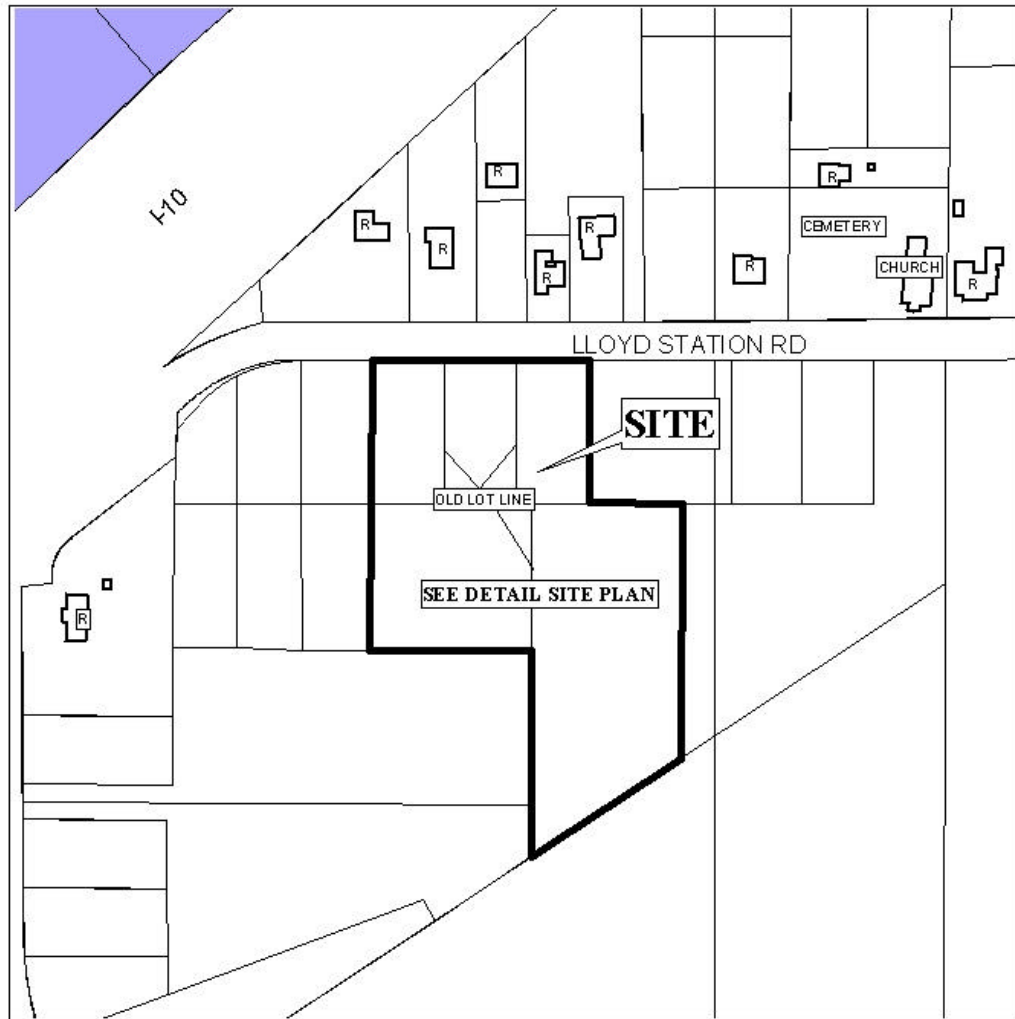
APPLICATION NUMBER 13 DATE April 3, 2003

APPLICANT Riviere du Chien Woods Subdivision, Lloyd Station Unit, Lipscomb-Jones Addition to

REQUEST Subdivision



RIVIERE DU CHIEN WOODS SUBDIVISION, LLOYD STATION UNIT LIPSCOMB-JONES ADDITION TO

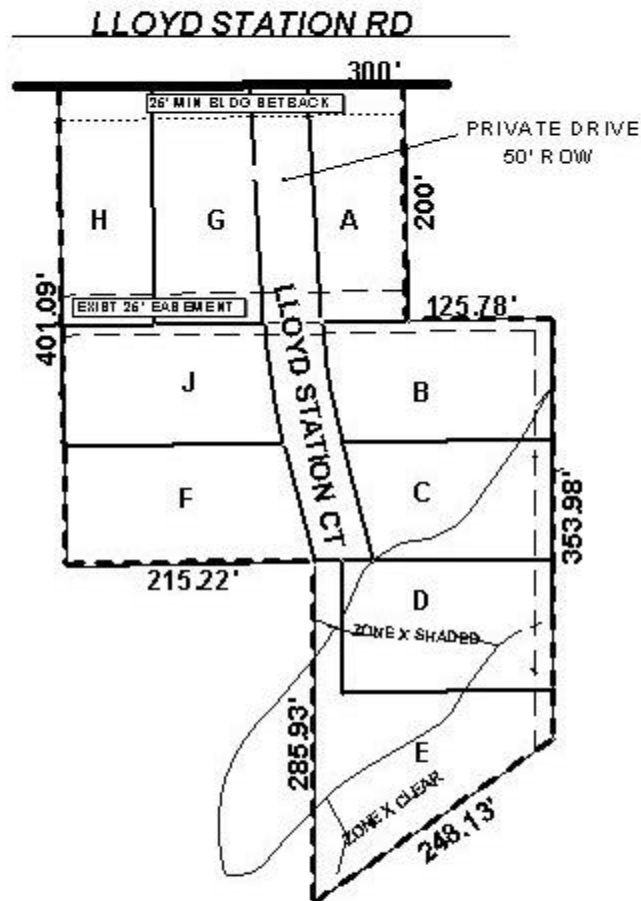


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LEGEND



DETAIL SITE PLAN



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APPLICANT Riviere du Chien Woods Subdivision, Lloyd Station Unit, Lipscomb-Jones Addition to

USE/REQUEST Subdivision

