

**RIDGEWOOD ACRES SUBDIVISION, RESUBDIVISION**  
**OF LOT 5 AND PART OF LOT 6, BLOCK A**  
**SUBDIVISION**

Engineering Comments: Must comply with all storm water and flood control ordinances. Add a note to the plat that a land disturbance permit will be required from the City of Mobile for any addition of impervious area in excess of 4000 square feet, which will also require detention that will be required to be maintained by the property owner and not the City of Mobile. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

Mobile Area Water & Sewer System Comments: No Comments

The plat illustrates the proposed 0.9± acre, 2 lot subdivision, which is located at the Northeast corner of Woodcrest Drive and Lucerne Drive, in City Council District 7. The applicant states that the site is served by public water and sanitary sewer facilities.

The purpose of this application is to create two legal lots of record from a metes and bounds parcel and a legal lot of record. It should be noted that the metes and bounds parcel is a portion of Lot 6 Ridgewood Acres; the remainder of this lot is now part of a public street (Lucerne Drive).

The site fronts Woodcrest Drive to the South and Lucerne Drive to the West, both minor streets with sufficient rights-of-way. No dedication is required.

As proposed, Lot A has approximately 120' and 180' of frontage along Woodcrest and Lucerne Drives respectively, while Lot B has approximately 124' of frontage along Lucerne Drive. As a means of access management, a note should be placed on the final plat stating that Lot A is limited to the one curb cut to Woodcrest Drive, while Lot B is limited to one curb cut to Lucerne Drive, with the size, location, and design to be approved by Traffic Engineering and in conformance with AASHTO standards.

The plat does not illustrate a minimum building setback line, as required by Section V.D.9 of the Subdivision Regulations; the plat should be revised accordingly.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) the depiction on the final plat of the minimum building setback line, as required by Section V.D.9 of the Subdivision Regulations;
- 2) placement of a note on the final plat stating that that Lot A is limited to the one curb cut to Woodcrest Drive, while Lot B is limited to one curb cut to Lucerne Drive, with the size, location, and design to be approved by Traffic Engineering and in conformance with AASHTO standards;
- 3) placement of a note on the plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 4) compliance with Engineering comments: *(Must comply with all storm water and flood control ordinances. Add a note to the plat that a land disturbance permit will be required from the City of Mobile for any addition of impervious area in excess of 4000 square feet, which will also require detention that will be required to be maintained by the property owner and not the City of Mobile. Any work performed in the right of way will require a right of way permit).*

# LOCATOR MAP



APPLICATION NUMBER 13 DATE October 15, 2009  
 Ridgewood Acres Subdivision, Resubdivision of Lots 5 and Part  
 APPLICANT of Lot 6, Block A  
 REQUEST Subdivision

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# RIDGEWOOD ACRES SUBDIVISION, RESUBDIVISION OF LOTS 5 AND PART OF LOT 6, BLOCK A



APPLICATION NUMBER 13 DATE October 15, 2009

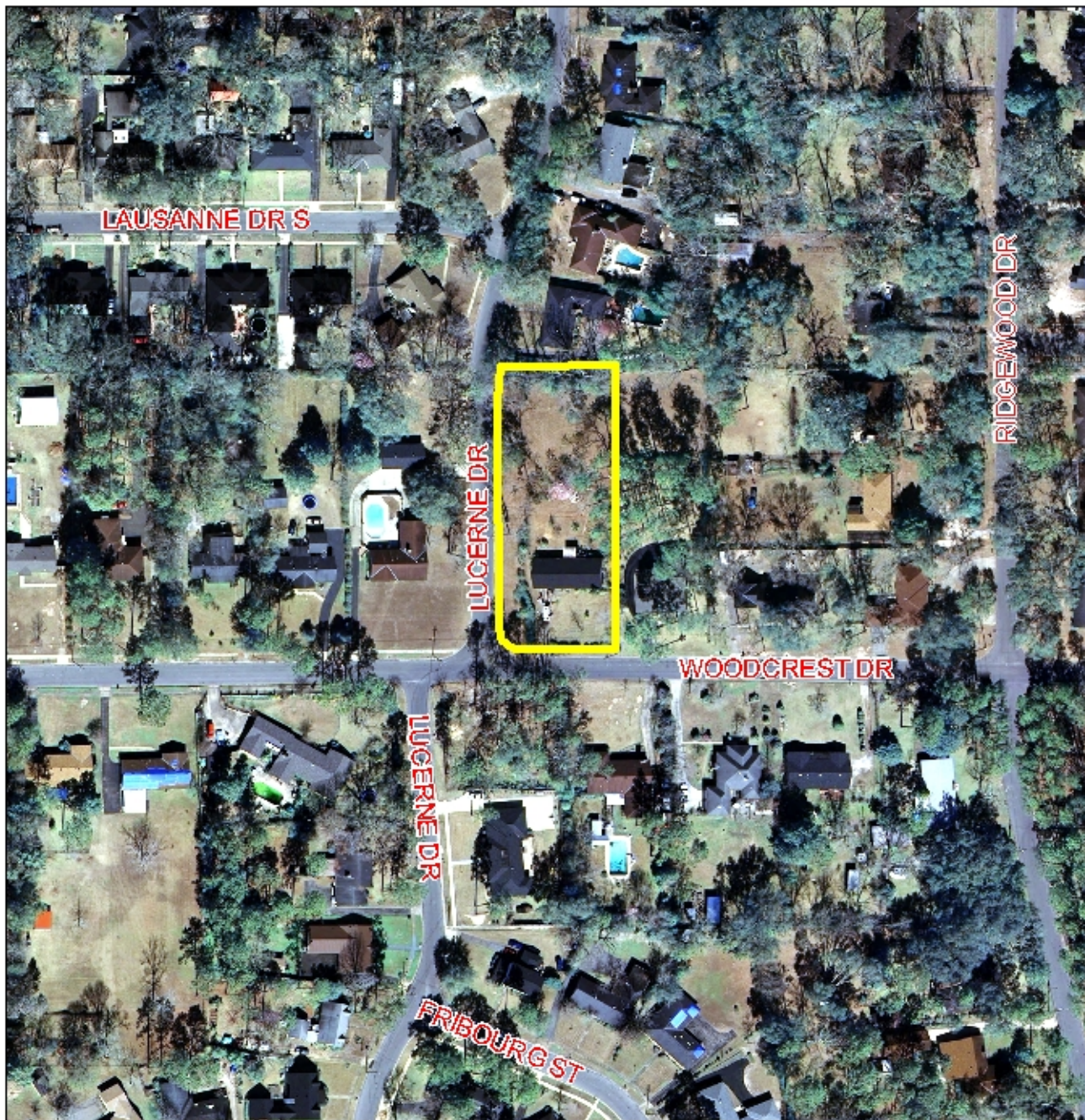
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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NTS



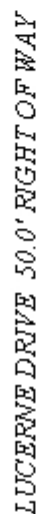
**RIDGEWOOD ACRES SUBDIVISION, RESUBDIVISION OF LOTS  
5 AND PART OF LOT 6, BLOCK A**



APPLICATION NUMBER 13 DATE October 15, 2009



## DETAIL SITE PLAN



APPLICATION NUMBER 13 DATE October 15, 2009

APPLICANT Ridgewood Acres Subdivision, Resubdivision of Lots 5 and Part of Lot 6, Block A

REQUEST	Subdivision
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