

**RALEIGH SUBDIVISION, UNIT THREE,**  
**RESUBDIVISION OF LOTS 2 & 3**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 2-lot, 1.4± acre subdivision which is located at 3475 Morgan Court (Southwest corner of Raleigh Boulevard and Sollie Road, and extending South to Morgan Court). The subdivision is served by public water and public sanitary sewer.

The purpose of this subdivision is to modify an interior lot line between two existing legal lots of record to accommodate an existing driveway. It should be noted that the existing lots, Lots 2 and 3 of Raleigh Addition Subdivision, were approved in 2001, and the plat signed in 2002. The Planning section never received the seven copies of the recorded final plat as required to complete the subdivision process. Therefore, submission of the plat copies should be required prior to signing of the final plat.

Both of the proposed lots front Morgan Court, and the proposed Lot 1 also fronts Raleigh Boulevard and Sollie Road. The original approval granted in 2001 stated that there should be no access to Sollie Road. The appears to be no reason why this stipulation should not be included in this resubdivision. Therefore, a note should be required on the final plat stating that both of the proposed Lots 2 and 3 should be denied access to Sollie Road.

The plat additionally illustrates a proposed 10-foot dedication along Sollie Road. This should not be required as the original approval creating these lots in 2001 required dedication sufficient to provide 50-feet from the centerline of Sollie Road, therefore, this dedication should be removed, and the current right-of-way of Sollie Road depicted.

All of the required setbacks are indicated on the plat, and there should be no modifications necessary. Additionally, both lots exceed the minimum required lot size under the subdivision regulations.

This site is located in the County, thus a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

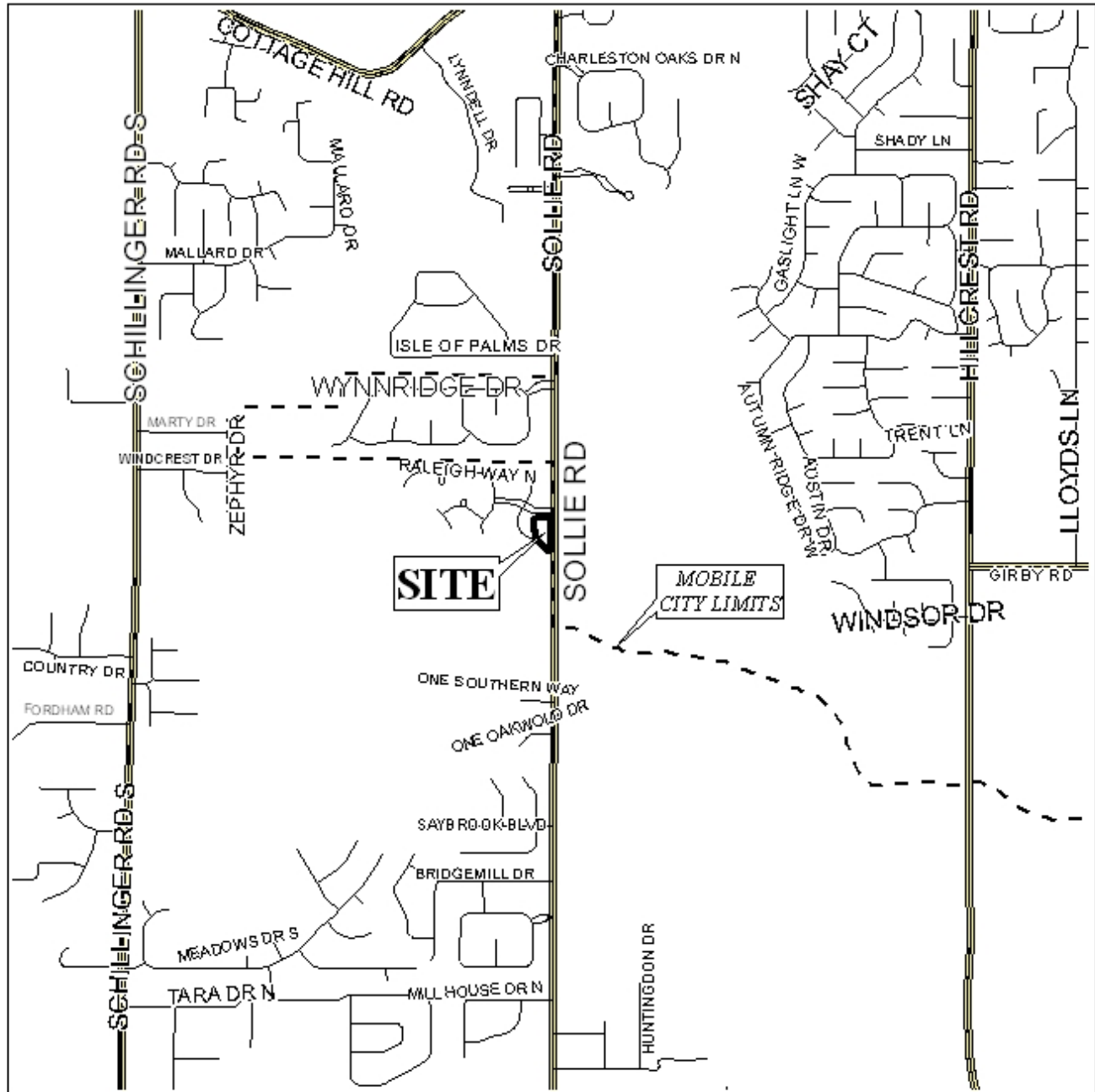
The site will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and

flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions:

- 1) provision of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations;
- 2) provision of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 3) a note should be placed on the final plat stating that both Lot 2 and Lot 3 are denied access to Sollie Road;
- 4) deletion of the proposed right-of-way dedication;
- 5) depiction of the current right-of-way of Sollie Road; and
- 6) provision of the seven copies of the recorded plat of Raleigh Addition Subdivision from 2001.

# LOCATOR MAP



APPLICATION NUMBER 13 DATE June 21, 2007

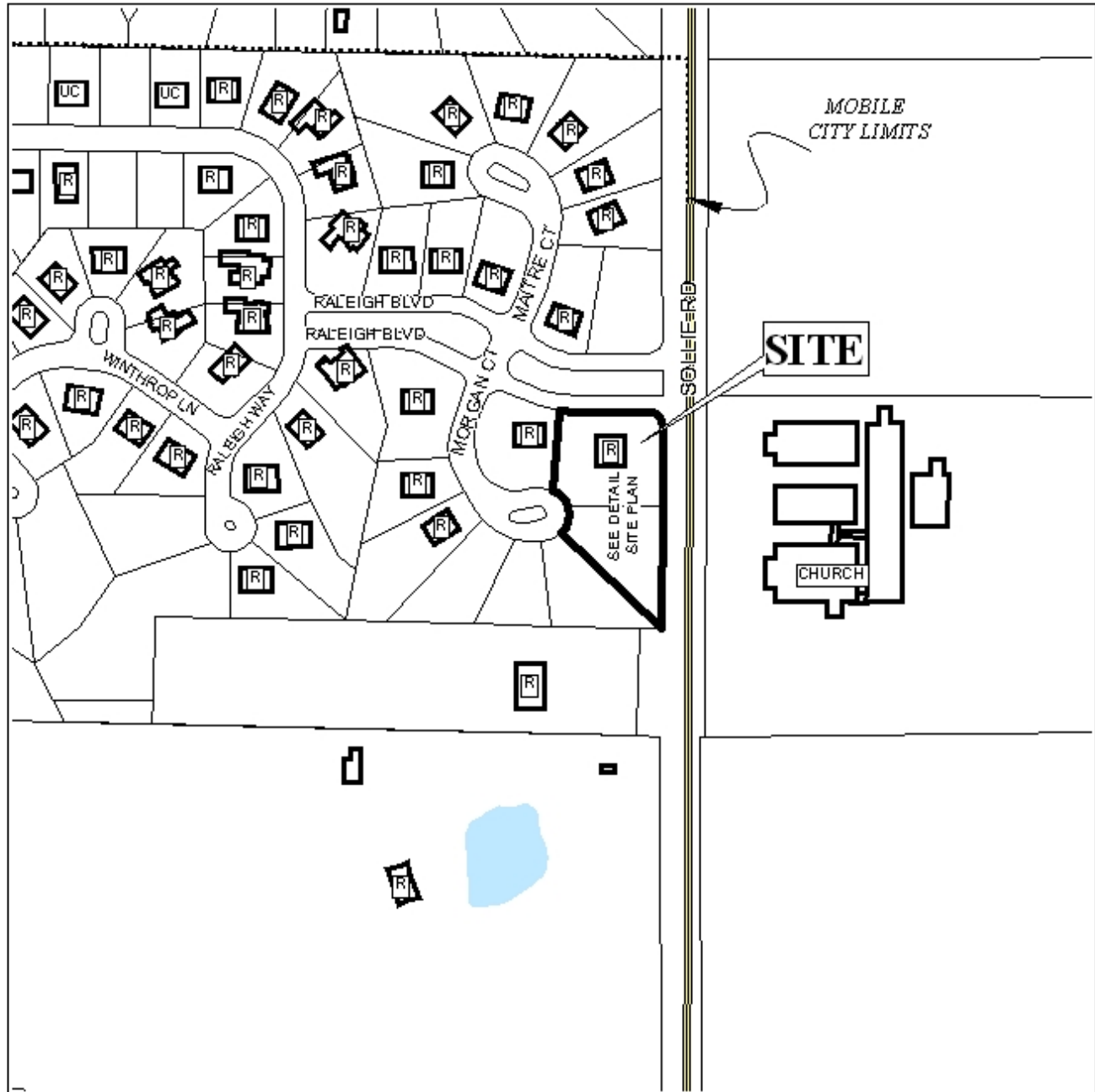
APPLICANT Raleigh, Unit Three Resubdivision of Lots 2 & 3

REQUEST Subdivision



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# **RALEIGH, UNIT THREE RESUBDIVISION OF LOTS 2 & 3 SUBDIVISION**



APPLICATION NUMBER 13 DATE June 21, 2007

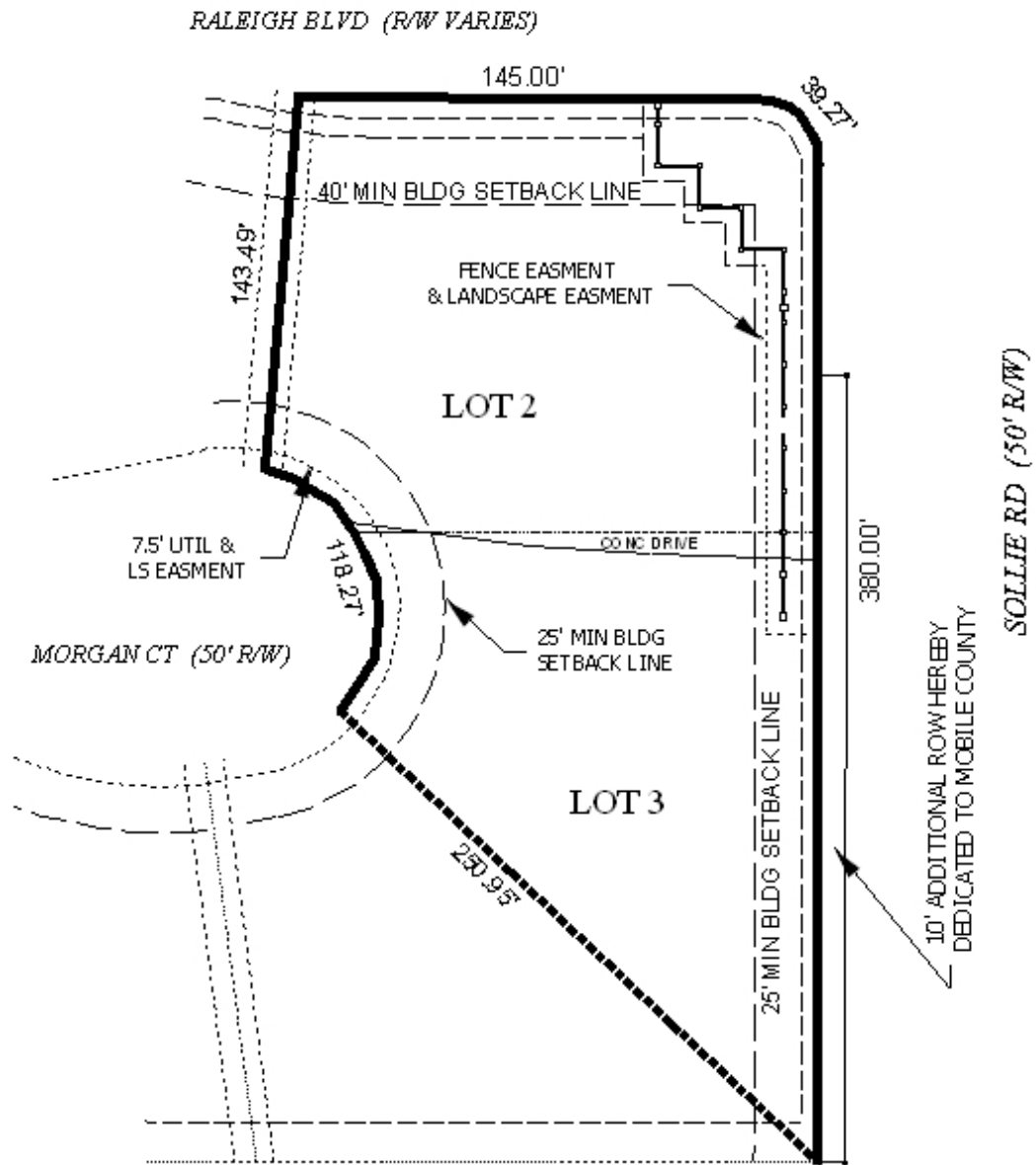
LEGEND

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|     |     |     |     |     |     |     |      |     |     |     |     |     |     |
| R-1 | R-2 | R-3 | R-4 | R-B | H-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |



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# DETAIL SITE PLAN



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REQUEST Subdivision



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