

ORCHARD ASSEMBLY OF GOD SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Mobile Area Water and Sewer Systems Comments: No Comments

The plat illustrates the proposed 14.5± acre, 1 lot subdivision, which is located on the North side of Howells Ferry Road, 1/2± mile West of Snow Road – within the planning jurisdiction. The applicant states that the site is served by public water and sanitary sewer facilities.

The purpose of this application is to create one legal lot of record from two metes and bounds parcels. It appears that the two metes and bounds parcels are just two of many child parcels, most of which being part of Pecan Pointe Subdivision and three others appearing to be metes and bounds parcels created after 1984 and without going through the legal subdivision process. While two of the “illegal” parcels have been submitted as another subdivision (Georgia’s Place), one still remains (R022408330000007.001) that should be included. Since this child parcel is adjacent to the subject site, inclusion in this application would be more appropriate. It should be noted that the final plat should be signed and recorded simultaneously with Georgia’s Place Subdivision.

The site fronts Howells Ferry Road, which has 80’ of right-of-way. It should be noted that this section of Howells Ferry Road is part of the Spring Hill Avenue-Zeigler Boulevard thoroughfare of the Major Street Plan and, as such, requires a minimum 100’ right-of-way. Therefore, the applicant should revise the plat to dedicate sufficient right-of-way to provide a minimum 50’ as measured from the centerline of Howells Ferry Road.

The site has approximately 625’ of frontage along Howells Ferry Road. As a means of access management, a note should be placed on the final plat stating that the subdivision is limited to two curb cuts to Howells Ferry Road, with the size, location, and design to be approved by County Engineering and in conformance with AASHTO standards.

As proposed, the lot exceeds the maximum width to depth ratio as allowed by Section V.D.3 of the Subdivision Regulations. It should be noted, however, that the existing parcels also exceed this requirement. By combining the two, the degree of nonconformity will be improved; thus, a waiver here may be appropriate.

The applicant should revise the plat to illustrate a 25’ minimum building setback line from Howells Ferry Road.

The site is located within the J.B. Converse watershed, the primary drinking water supply for the Mobile Area Water and Sewer System. The Subdivision Regulations were recently amended (Section V.A.5.) to, at minimum, match Mobile County standards for development within the watershed; thus the site must be designed so that no field lines or septic tanks are constructed or maintained within a “flood prone area” as designated by FEMA, or within a “Buffer Zone” as defined in Section II, Definitions. Furthermore, within the watershed, storm water detention facilities are required in any Subdivision. Detention areas must be designed to provide a minimum detention capacity to accommodate the volume of a 50 year post development storm, with a maximum release rate equivalent to the 10 year storm pre-development rate. A licensed Professional Engineer must certify, prior to the recording of the final plat, that the design of the Subdivision and its storm water detention features are designed in accordance with these requirements. Any storm water detention facility must be shown in the plans and on the recorded subdivision plat as a common area not maintained by the City of Mobile, Mobile County, nor the State of Alabama.

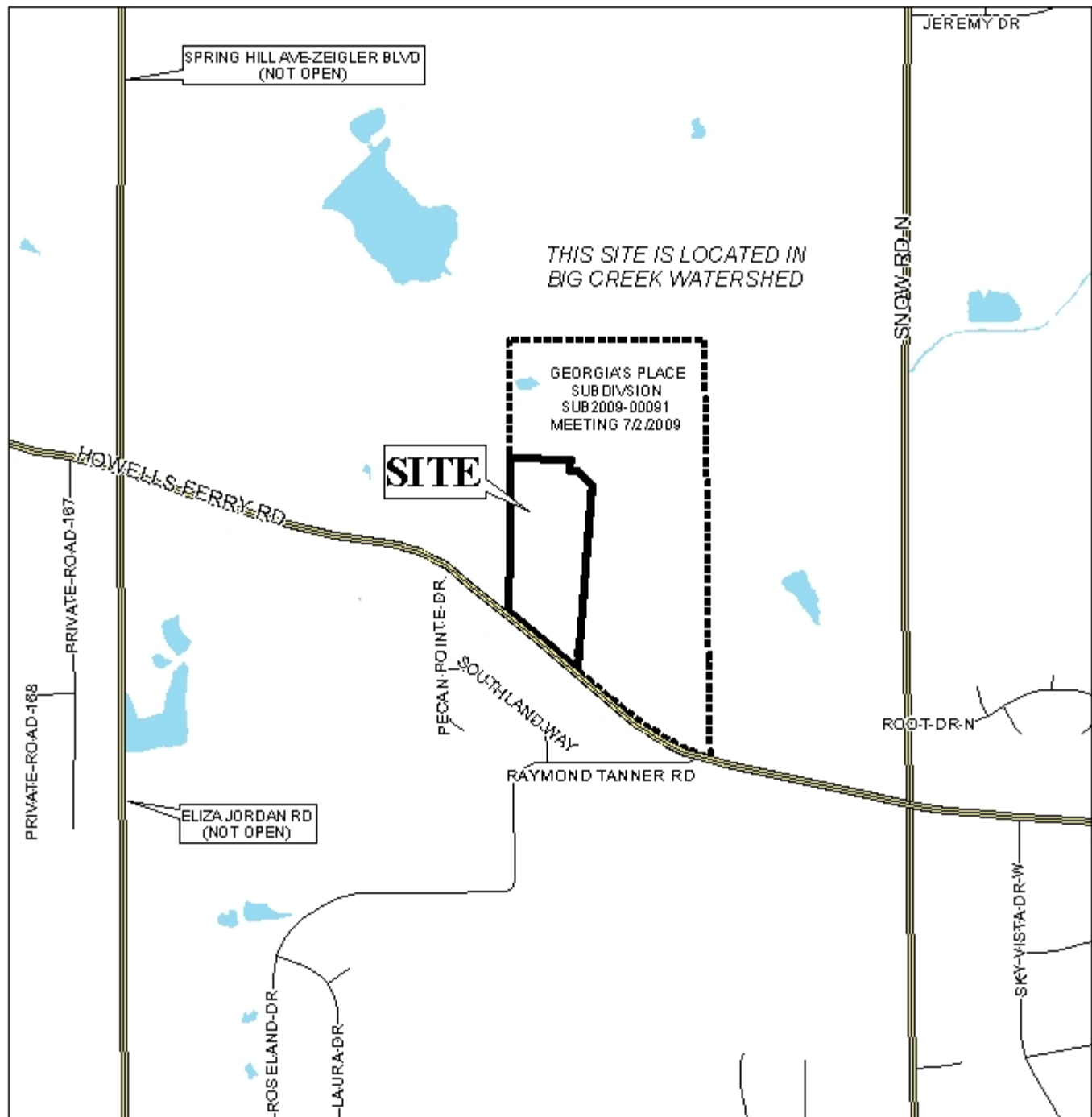
All Subdivisions shall use “Best Management Practices” for water quality protection as identified in The Use of Best Management Practices (BMPs) in Urban Watersheds – EPA, per the requirements of Section V.A.5. of the Subdivision Regulations (amended September 18, 2008).

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species.

The site is located in the county. Therefore, a note should be placed on the final plat stating that any lots developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations.

Based on the preceding, it is recommended that this application be held over to allow the applicant to include Tax Parcel R022408330000007.001 the subdivision process.

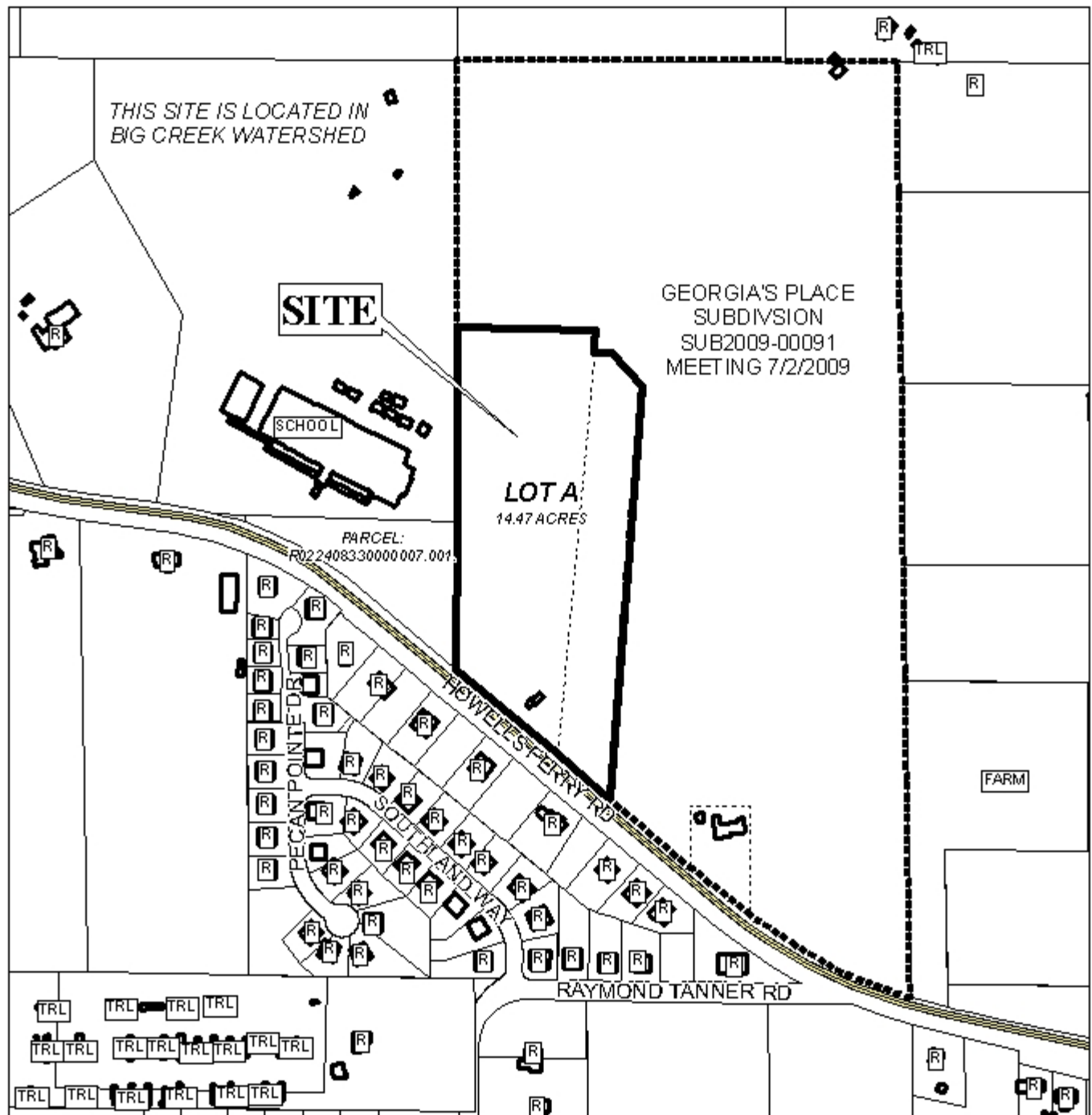
LOCATOR MAP



APPLICATION NUMBER 13 DATE July 2, 2009
APPLICANT Orchard Assembly of God Subdivision
REQUEST Subdivision



ORCHARD ASSEMBLY OF GOD SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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