

MONROE PROPERTIES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)

MAWSS Comments: MAWSS has **No** water or sewer services available.

The preliminary plat illustrates the proposed 3-lot, 5± acre subdivision located on the East side of Ranch Road, 700'± South of Half Mile Road, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and individual septic systems. The purpose of this application is to create three legal lots from one legal lot of record.

The site fronts on Ranch Road, a minor street with a 50' right-of-way; however, the street is unpaved and is not provided with curbs or gutters thus requiring a 60' right-of-way. The existing right-of-way depicted for the proposed subdivision is 50'; therefore dedication is required to provide 30' from the centerline. Additionally, as a means of access management, a note should be required on the Final Plat stating that each lot is limited to one curb cut each to Ranch Road, with the size, location and design to be approved by Mobile County Engineering and conform to AASHTO standards.

The plat indicates a 25' building setback line for all three lots and this should also be shown on the Final Plat. Each lot meets the minimum size requirements of the Subdivision Regulations and are labeled with their sizes in square feet and acres on the preliminary plat. If approved, this information should be retained on the Final Plat, or a table should be furnished on the Final Plat providing the same information.

The proposed Lot 3 would be a flag lot which is generally discouraged by Section V.D.1. of the Subdivision Regulations unless there are pre-existing barriers, or in the case of a family subdivision; neither of these exceptions appear to be applicable. Additionally, approving the request would increase the number of lots on an unpaved, sub-standard road. However if approved, a note should be required on the Final Plat stating that no further re-subdivision of Lot 3 will be allowed until additional public street frontage is provided.

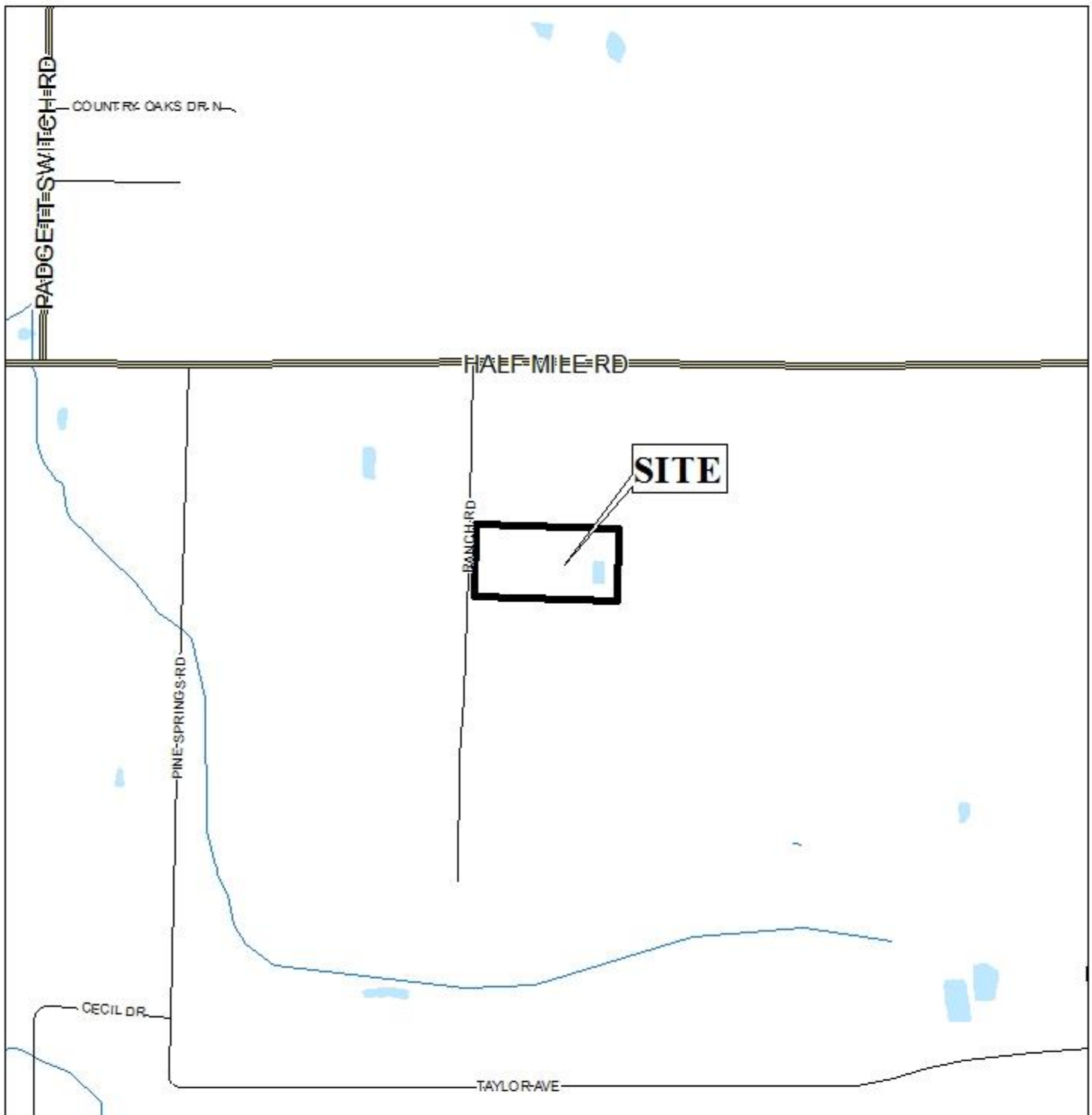
This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the Final Plat, if approved.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”* would be required on the Final Plat.

Based on the preceding, the application is recommended for Denial due to the following:

- 1) no justification of request for approval of a flag lot based upon criteria of Section V.D.1. of the Subdivision Regulations; and
- 2) request would increase number of lots on an unpaved, sub-standard road.

LOCATOR MAP



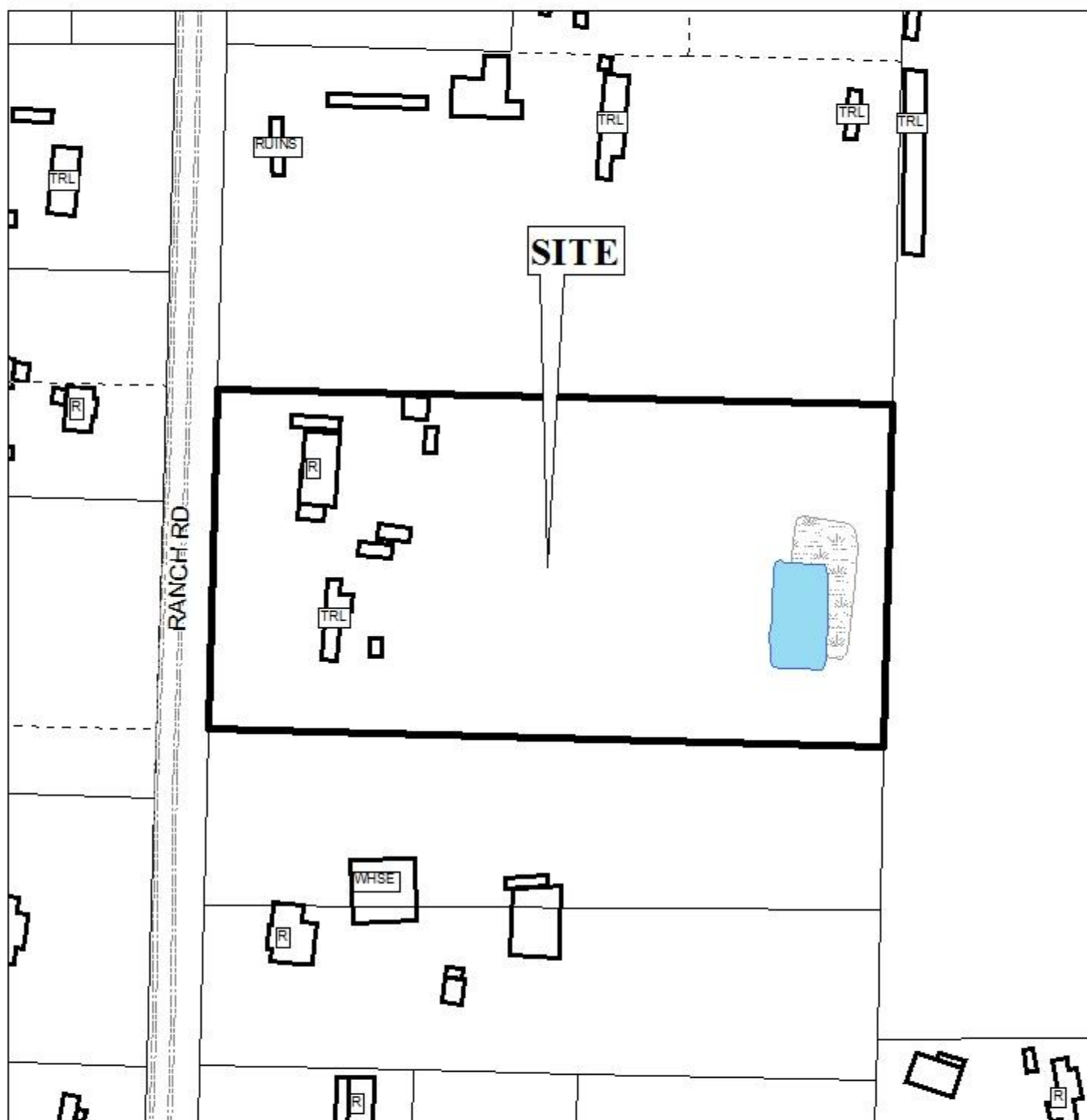
APPLICATION NUMBER 13 DATE June 4, 2015

APPLICANT Monroe Properties Subdivision

REQUEST Subdivision



MONROE PROPERTIES SUBDIVISION



APPLICATION NUMBER 13 DATE June 4, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



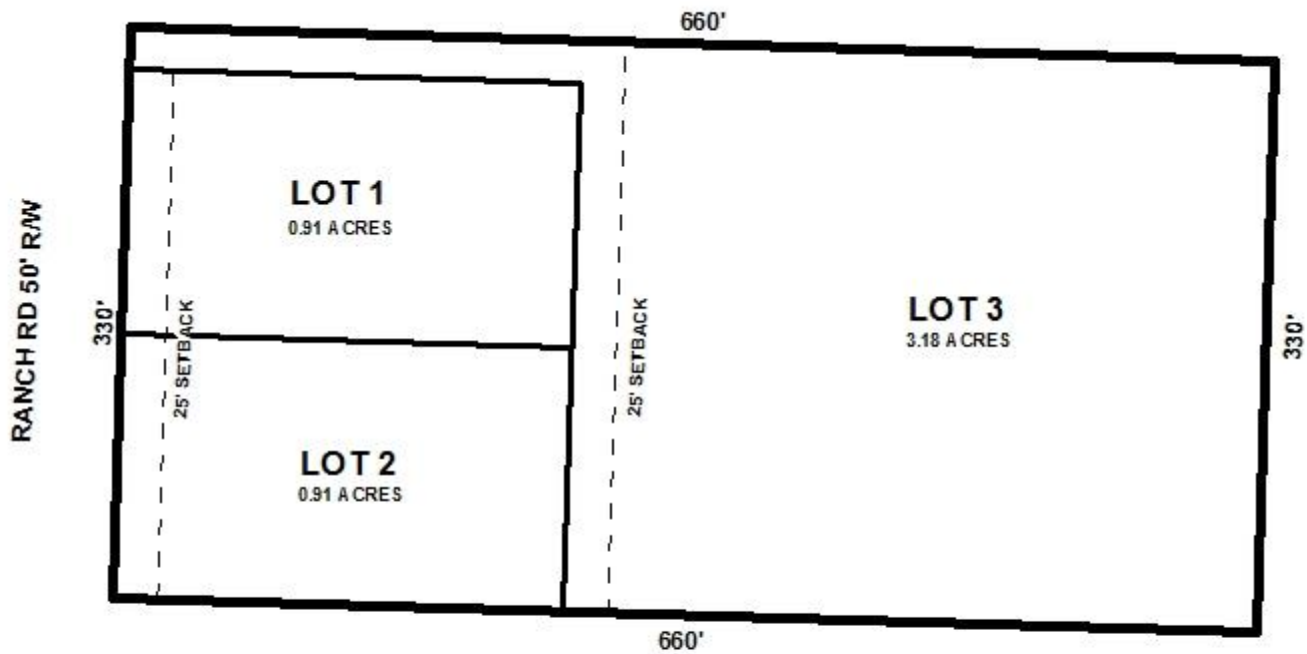
MONROE PROPERTIES SUBDIVISION



APPLICATION NUMBER 13 DATE June 4, 2015



DETAIL SITE PLAN



APPLICATION NUMBER 13 DATE June 4, 2015

APPLICANT Monroe Properties Subdivision

REQUEST Subdivision

