

LEGACY SUBDIVISION, PHASE TWO, **RESUBDIVISION OF PART OF**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has no water or sewer services available.

The plat illustrates the proposed 6-lot, 15.5± acre subdivision which is located at the West terminus of Legacy Lane, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and sanitary sewer services.

The purpose of this application is to re-subdivide three legal lots of record into six legal lots of record. The site consists of Lots 2 & 3, Legacy Subdivision, Phase Two, approved by the Commission in January 2010, and Lot 1-A, Resubdivision of Lots 1 & 6, Legacy Subdivision, approved in March 2011. Each lot would meet the minimum size requirements of the Subdivision Regulations.

The site fronts onto Legacy Lane, a paved minor street with a compliant 50' right-of-way; therefore, no dedication would be required. As a means of access management, a note should be required on the Final Plat stating that each lot is limited to one curb cut to Legacy Lane, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering and conform to AASHTO standards.

Lots E and F are labeled with their sizes in square feet and acres on the preliminary plat, but no lot sizes are indicated for Lots A through D. Therefore, the plat should be revised to label all lots with their sizes in square feet and acres, or a table should be furnished on the Final Plat providing the same information.

Lot F contains a utility easement along its East side; therefore, a note should be required on the Final Plat stating that no structures may be erected within the utility easement along the East side of Lot F.

The 25' minimum building setback line is shown and labeled on the preliminary plat, and should be retained on the Final Plat for Lots A through D as shown. Proposed Lots E and F appear to be

less than 60' wide at the minimum building setback line. Section V.D.2. of the Subdivision Regulations requires residential lots to be at least 60' wide at the minimum building setback line. Therefore, the plat should be revised to illustrate the minimum building setback lines for Lots E and F where those lots are at least 60' wide.

It should be noted that the depths of proposed Lots D, E and F are more than 3.5 times the width of the lots at the minimum building setback line. Section V.D.3. of the Subdivision Regulations states that the maximum depth of lots, exclusive of unusable land, shall not be more than 3.5 times the width at the building setback line. Therefore, a waiver of Section V.D.3. would be required.

The site must comply with the City of Mobile storm water and flood control ordinances. Therefore, a note stating *"Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits."* should be placed on the Final Plat.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

This site is located in the County; therefore, a note should be required on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

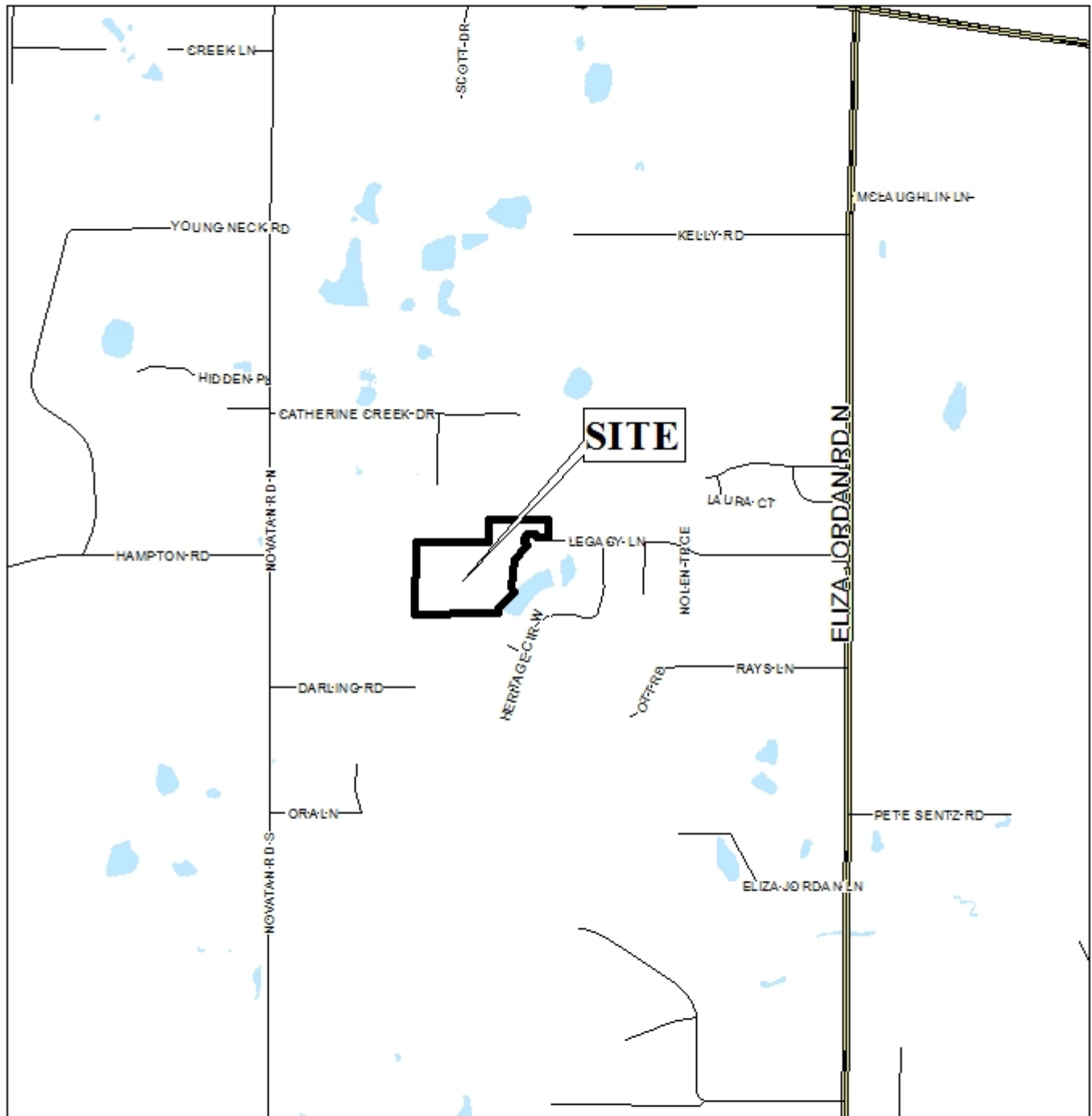
With a waiver of Section V.D.3., the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that each lot is limited to one curb cut to Legacy Lane, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering and conform to AASHTO standards;
- 2) revision of the plat to label each lot with its size in square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 3) placement of a note on the Final Plat stating that no structures may be erected within the utility easement on the East side of Lot F;
- 4) retention of the 25' minimum building setback line for Lots A through D as on the preliminary plat;
- 5) revision of the plat to illustrate the minimum building setback lines for Lots E and F where the lots are at least 60 wide;
- 6) placement of a note on the Final Plat stating the site must comply with the City of Mobile storm water and flood control ordinances: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the*

storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);

- 7) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 8) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations; and
- 9) compliance with Fire Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*).

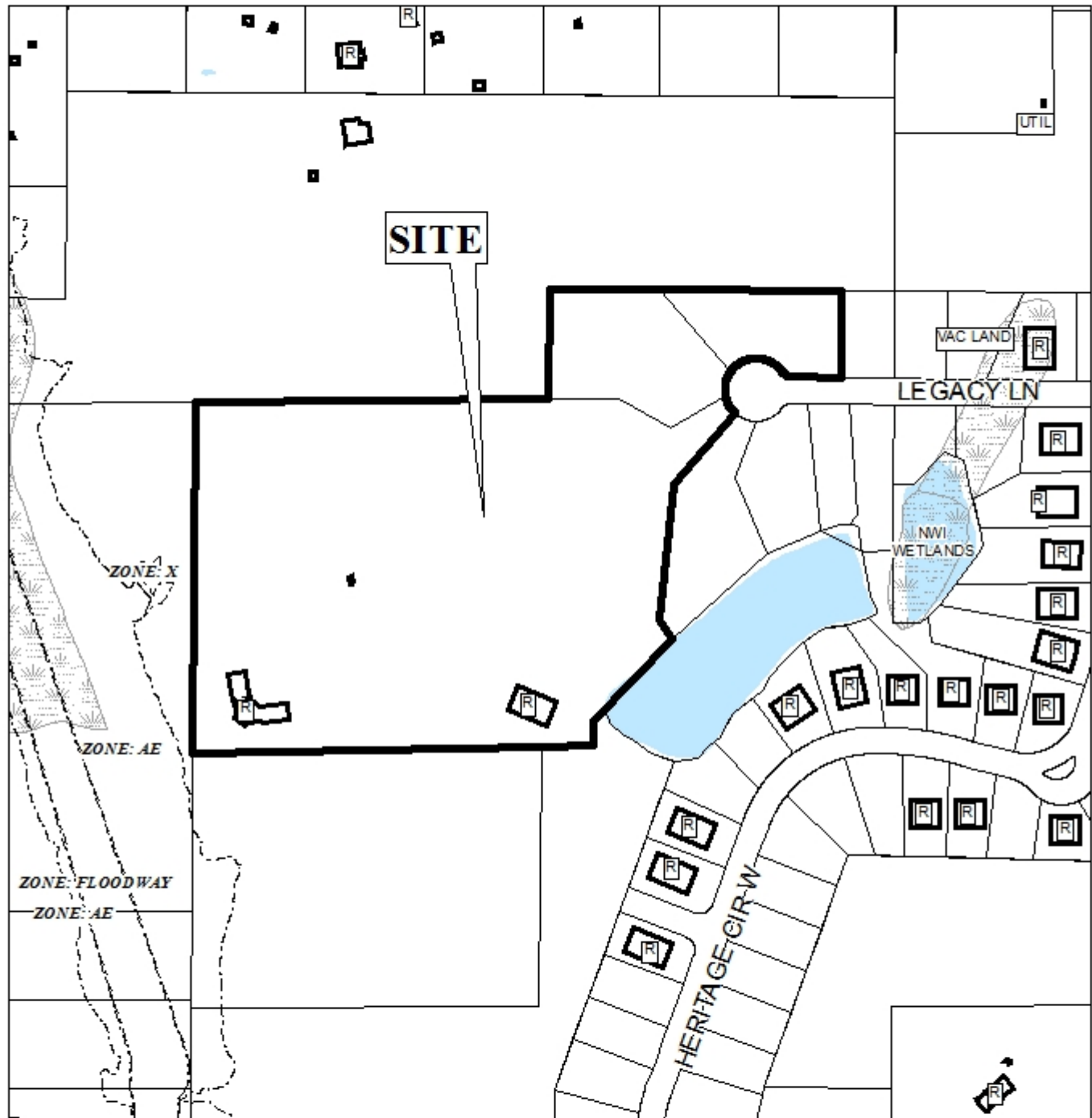
LOCATOR MAP



APPLICATION NUMBER 13 DATE June 6, 2013
APPLICANT Legacy Subdivision, Resubdivision of Part of
REQUEST Subdivision



LEGACY SUBDIVISION, RESUBDIVISION OF PART OF



APPLICATION NUMBER 13 DATE June 6, 2013

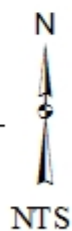
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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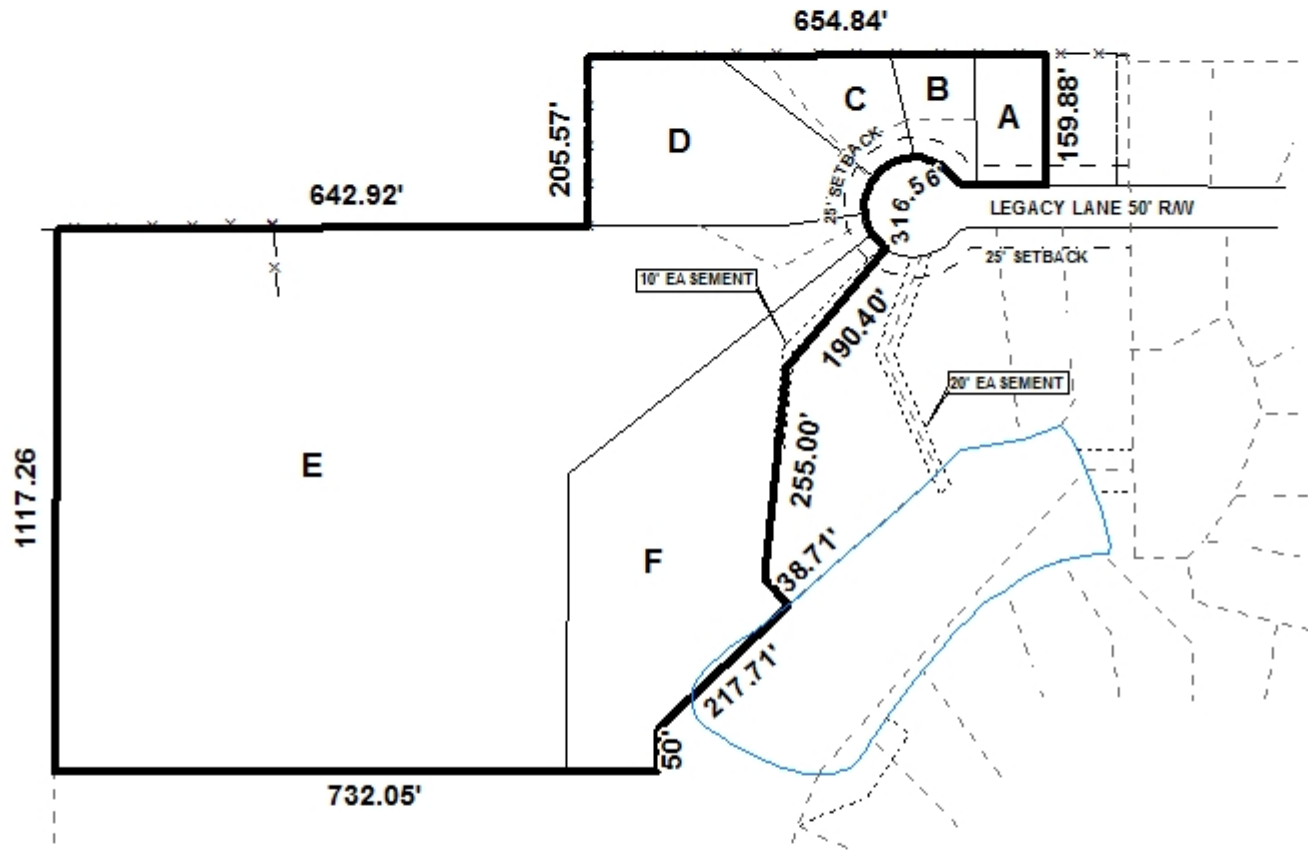
LEGACY SUBDIVISION, RESUBDIVISION OF PART OF



APPLICATION NUMBER 13 DATE June 6, 2013



DETAIL SITE PLAN



APPLICATION NUMBER 13 DATE June 6, 2013
APPLICANT Legacy Subdivision, Resubdivision of Part of
REQUEST Subdivision

