

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: June 21, 2018****DEVELOPMENT NAME**

Kimberly Clark Subdivision

SUBDIVISION NAME

Kimberly Clark Subdivision

LOCATION100 & 200 Africatown Boulevard
(Northeast corner of Bay Bridge Road and Paper Mill Road)**CITY COUNCIL
DISTRICT**

District 2

AREA OF PROPERTY

2 Lots / 143.0± Acres

CONTEMPLATED USE

Planned Unit Development Approval to allow multiple buildings on a single building site and shared access between multiple lots; and Subdivision approval to create two legal lots of record.

**TIME SCHEDULE
FOR DEVELOPMENT**

No time frame provided.

**ENGINEERING
COMMENTS****Subdivision****FINAL PLAT COMMENTS** (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Submitted drawing is confusing and partially illegible. All of the lines are solid, and many of the lines have similar colors and line weight.
- B. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- C. Label the POB and provide adjacent property labels.
- D. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- E. National Wetlands Inventory (NWI) mapping, as shown on City of Mobile GIS information, indicates that there is potential for wetlands within the property or properties

- shown on this plat. Show and label the delineated wetlands, or provide a note that the wetlands shown on this plat are scaled from the NWI data and have not been delineated.
- F. Provide a note that a 25' riparian buffer may be required, during development, along the edge of anything considered by ADEM to be a water of the state.
 - G. Show and label each and every Right-Of-Way and easement.
 - H. Provide and label the monument set or found at each subdivision corner.
 - I. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
 - J. Provide the Surveyor's Certificate and Signature.
 - K. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
 - L. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
 - M. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
 - N. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
 - O. Add a note to the plat stating that all proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile.
 - P. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process.
 - Q. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
 - R. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the red-line markup, the ORIGINAL (with all other signatures) and one (1) copy of the revised original (signatures not required) of the revised Final Plat to the Engineering Department.

Planned Unit Development

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will

need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.

3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. Provide a note that a 25' riparian buffer may be required, during development, along the edge of anything considered by ADEM to be a water of the state.
5. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.
6. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
7. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Site is limited to its existing curb cuts with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

MAWSS COMMENTS

No comments.

REMARKS

The applicant is seeking Planned Unit Development Approval to allow multiple buildings on a single building site and shared access between multiple lots; and Subdivision approval to create two legal lots of record. The site is located in Council District 2, and according to the applicant is served by public water and sanitary sewer. Both proposed lots meet the minimum size requirements of the Subdivision Regulations. Please

note that a Planned Unit Development approval by the Planning Commission expires after one year if no permits are obtained.

The purpose of the Subdivision is to create 2 legal lots of record from multiple tax parcels which are either whole legal lots of record or partial legal lots of record and some which are private rights-of-way. The two lots would encompass the entire Kimberly Clark paper mill site and the two would be separated by a 100' Alabama State Docks and Terminal Railroad right-of-way. The Planned Unit Development is necessary to allow the multiple buildings on each lot with shared access between the lots. The applicant proposes to construct a converting facility on a portion of the lot on the East side of the railroad right-of-way where the majority of the production facilities are located.

The site has been given a Heavy Industry (HI) land use designation, per the recently adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land use designation mostly applies to larger parcels primarily developed to high-impact industrial activity which is preferably removed from residential and commercial uses. Light industry, industrial business or heavy commercial lands may separate heavy industry from other land uses.

Heavy industrial areas include collection, treatment, and manufacturing processes which use raw materials, are distinguished by the presence of noise, vibration, and/or odors, and benefit from easy access to a multimodal freight transportation network. Certain types of heavy industry are characterized by low building coverage and activities that rely on large areas of outdoor storage of raw material stockpiles and/or waste-product disposal areas, storage tanks, pipelines, and transportation yards to handle the transfer of heavy materials. The outdoor storage areas should be screened as much as possible by the nature of the stored materials.

Land designated as HI may be underdeveloped due to the presence of wetlands on portions of the parcel. In these cases, the wetlands may serve to buffer surrounding uses from the potential impacts of the heavy industrial use. Undeveloped areas of HI parcels that have tree cover may be used as buffering between the heavy industrial use and other uses. Where buffers do not exist naturally, they should be provided as spelled out in the zoning and subdivision regulations. Open areas reserved for dredge disposal are also designated as HI and may contain wetlands.

In Mobile, port terminal facilities, docks, shipyards, drydocks, etc., are mostly owned by the State of Alabama. Although not subject to local zoning, these facilities are shown as heavy industrial uses in the FLUM.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual

cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is zoned I-2, Heavy Industry District. Paper manufacturing is allowed with Planning Commission Approval in I-2 Districts as is any expansion of such. However, in this instance, since there is no expansion of the paper mill proposed, and since the converting facility is considered a paper products manufacturing process and is allowed by right in an I-2 District, staff has determined that Planning Approval is not required for the proposed converting facility. In the paper industry, a converting facility receives the finished raw paper on large rolls from the mill and then cuts the rolls down to the various sizes specified by customers who then make the end product such as paper sheets, packaging papers and boxes or bath and kitchen products. The converted rolls are then shipped to the customers from the conversion facility.

The proposed Eastern lot is abutted by I-2 to the North and South and by the Mobile River and Chicasabogue Creek to the East. The proposed Western lot is bordered to the North by I-1 and to the West by R-2, Two-Family Residential, and B-2, Neighborhood Business, with a small I-2 parcel abutting its West boundary.

As previously mentioned, the site consists of several tax parcels which are either intact legal lots of record or portions of legal lots of record. In 1994, Scott Paper Subdivision divided the site into 11 legal lots of record. In 1999, Lots 7 and 8 were subdivided via Scott Paper Company Subdivision, Resubdivision of Lot 7 and 8, to allow an internal property line shift. The proposed West lot consists of recorded Lots 1 – 3, and proposed East lot consists of recorded Lots 4 – 11.

The proposed lots are not labeled on the preliminary plat; therefore, the plat should be revised to assign each lot a letter or number identification. The plat should also be revised to label each of the proposed lots with its size in both square feet and acres, or a table should be furnished on the Final Plat providing the same information. The site has frontage along Africatown Boulevard which is a component of the Major Road Plan as Prichard Avenue-US Highway 90 Connection with a planned 100' right-of-way. As the plat indicates a varying current right-of-way width in excess of 100' along the site, no dedication would be required. A portion of the site also has frontage along Paper Mill Road, a minor street with a current 130' right-of-way along the site; therefore, no dedication would be required along Paper Mill Road. As on the preliminary plat, the 25' minimum building setback line should be retained on the Final Plat along all public street frontages and railroad rights-of-way.

As per the Traffic Engineering comments, the site should be limited to its existing curb cuts with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The plat indicates various easements across the site; therefore, a note should be required on the Final Plat stating that no structure may be constructed or placed within an easement, unless an easement is intended for a particular structure.

The entire area of the proposed East lot is zoned I-2. However, the Southern portion of the proposed West lot is split-zoned I-2, R-2 and B-2. The entire lot should be rezoned to I-2 to eliminate this split-zoning prior to signing the Final Plat. In order to expedite the construction permitting for the proposed converting facility on the East lot, it is suggested that the Subdivision Final Plat be signed and recorded in phases. Phase I should consist of the East lot since that plat can be signed shortly after the Subdivision is approved. Phase 2 should consist of the West lot since the split-zoning must be eliminated prior to signing the Final Plat for that lot. The applicant should submit a Rezoning application in order to initiate that process.

The site plan indicates the current mill layout and the proposed 157,700 square-foot converting facility building on the East lot. Similar to the preliminary plat, the site plan does not label the two proposed lots; therefore, the site plan should be revised to assign each lot a letter or number identification. The site plan should also be revised to label each of the proposed lots with its size in both square feet and acres, or a table should be furnished on the site plan providing the same information. The 25' minimum building setback line should also be illustrated along all public street frontages and railroad rights-of-way. All easements should be shown on the site plan and a note should be placed on the site plan stating that no structure may be constructed or placed within an easement, unless an easement is intended for a particular structure.

As the West lot is split-zoned, that lot should be rezoned in its entirety to I-2 prior to any further proposed projects on it. Prior to submitting a revised PUD site plan for the West lot, the rezoning process should be completed and the revised site plan should indicate I-2 zoning for the entire lot. As it is suggested that the Subdivision be completed in phases to expedite permitting for the proposed converting facility, it is also suggested that the revisions to the PUD site plan be submitted in phases. Two (2) copies of a revised site plan (two sets for each phase if done in phases) should be submitted to Planning and Zoning prior to signing the Final Plat(s) for the Subdivision.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) rezoning of the West lot to I-2 to eliminate split-zoning prior to signing the Final Plat, either as a single phase plat or a two-phase plat;
- 2) revision of the plat to label each lot with a letter or number identification;
- 3) revision of the plat to label each lot with its size in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 4) retention of the 25' minimum building setback line on the Final Plat along all public street frontages and railroad rights-of-way;
- 5) placement of a note on the Final Plat stating that no structure may be constructed or placed within an easement, unless an easement is intended for a particular structure;
- 6) placement of a note on the Final Plat stating that the site is limited to its existing curb cuts with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 7) recording of the plat in two phases: Phase One to be the East lot; Phase Two to be the West lot, so that the required rezoning of the West lot will not delay the issuance of construction permits for the proposed converting facility on the East lot;
- 8) placement of a note on the Final Plat stating that no structure may be constructed or placed within an easement, unless an easement is intended for a particular structure;
- 9) compliance with the Engineering comments: *[FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Submitted drawing is confusing and partially illegible. All of the lines are solid, and many of the lines have similar colors and line weight. B. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. C. Label the POB and provide adjacent property labels. D. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. E. National Wetlands Inventory (NWI) mapping, as shown on City of Mobile GIS information, indicates that there is potential for wetlands within the property or properties shown on this plat. Show and label the delineated wetlands, or provide a note that the wetlands shown on this plat are scaled from the NWI data and have not been delineated. F. Provide a note that a 25' riparian buffer may be required, during development, along*

- the edge of anything considered by ADEM to be a water of the state. G. Show and label each and every Right-Of-Way and easement. H. Provide and label the monument set or found at each subdivision corner. I. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. J. Provide the Surveyor's Certificate and Signature. K. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. L. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. M. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. N. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. O. Add a note to the plat stating that all proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile. P. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process. Q. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. R. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the red-line markup, the ORIGINAL (with all other signatures) and one (1) copy of the revised original (signatures not required) of the revised Final Plat to the Engineering Department.];*
- 10) compliance with the Traffic Engineering comments: *(Site is limited to its existing curb cuts with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 11) compliance with the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64)];*
- 12) compliance with the Fire Department comments: *[All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).]; and*
- 13) submission to and approval by Planning and Zoning of two (2) copies of a revised PUD site plan prior to signing the Final Plat.

Planned Unit Development: Staff recommends the following Findings of Fact for Approval:

- a. the proposal promotes the objective of Creative design (to encourage innovative and diversified design in building form and site development), because it allows for the reconfiguration of an existing and developed site to meet the owner's needs;

- b. the proposal promotes the objectives of Flexibility (to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations), because the proposed addition is within the site and not along street frontages requiring setbacks;
- c. the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for development), because the development is within a developed area of the mill and does not require new construction on raw land;
- d. the proposal promotes the objective of Environment (to preserve and protect as urban amenities the natural features and characteristics of the land), because the project does not eliminate any existing urban amenities or natural features, and the existing urban fabric is retained;
- e. the proposal promotes the objective of Open space (to encourage the provision of common open space through efficient site design), because it is within the developed area of the mill and not within an open perimeter area;
- f. the proposal promotes the objective of Public services (to encourage optimum use of available public utilities, streets and community facilities), because no new public infrastructure must be constructed to meet the applicant's needs.

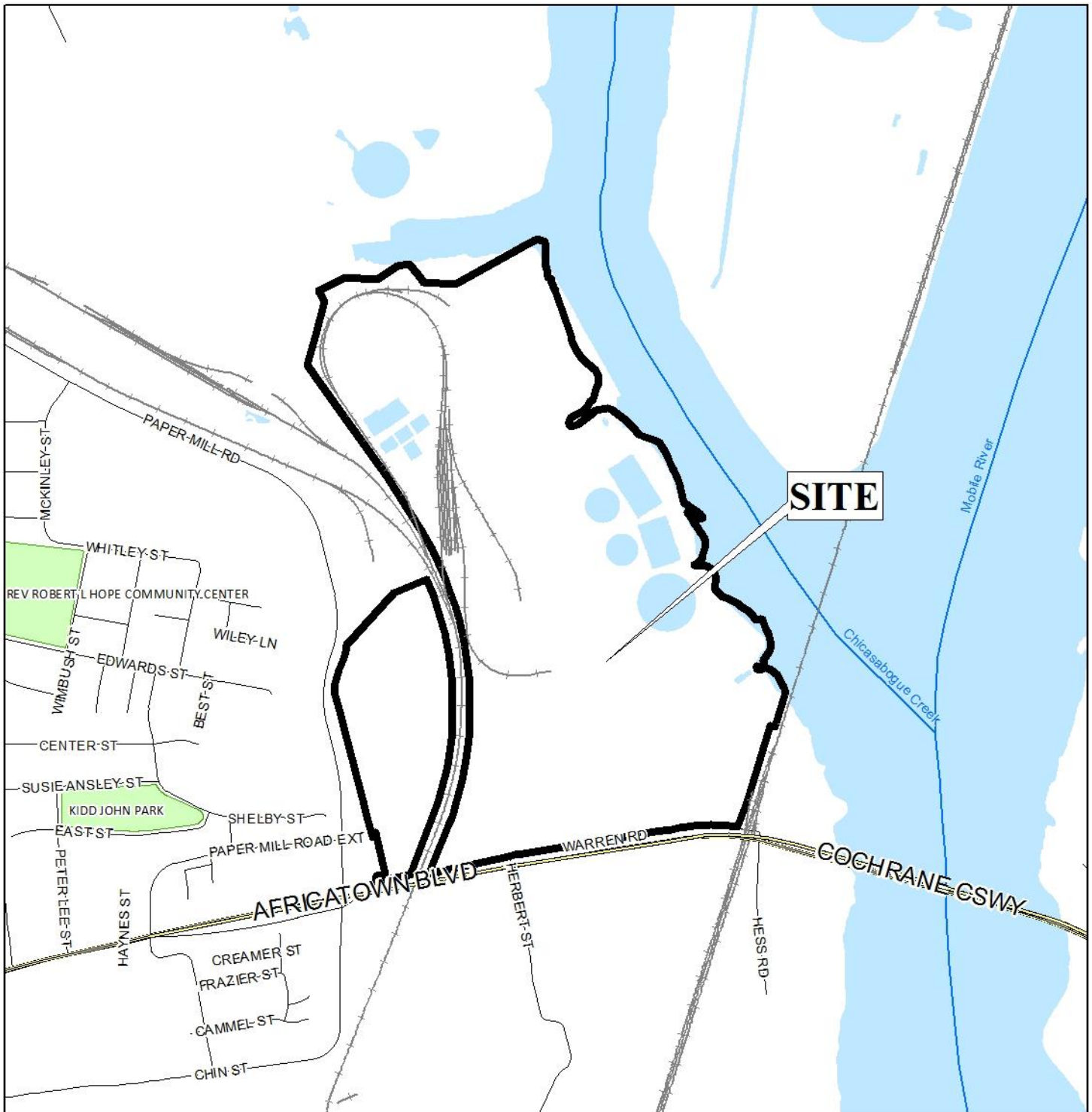
The Approval is subject to the following conditions:

- 1) revision of the site plan to label each lot with a letter or number identification;
- 2) revision of the site plan to label each lot with its size in both square feet and acres, or the furnishing of a table on the site plan providing the same information;
- 3) revision of the site plan to illustrate the 25' minimum building setback line along all public street frontages and railroad rights-of-way;
- 4) revision of the site plan to illustrate all easements and placement of a note on the site plan stating that no structure may be constructed or placed within an easement, unless an easement is intended for a particular structure;
- 5) placement of a note on the site plan stating that the site is limited to its existing curb cuts with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 6) rezoning of the West lot to I-2 to eliminate split-zoning prior to signing the Final Plat for that phase of the Subdivision and prior to submitting a revised PUD site plan for that lot;
- 7) compliance with the Engineering comments: *[ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance*

with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

- 4. Provide a note that a 25' riparian buffer may be required, during development, along the edge of anything considered by ADEM to be a water of the state. 5. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. 6. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 7. The proposed development must comply with all Engineering Department design requirements and Policy Letters.];*
- 8) *compliance with the Traffic Engineering comments: (Site is limited to its existing curb cuts with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 9) *compliance with the Urban Forestry comments: [Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64)];*
- 10) *compliance with the Fire Department comments: [All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).]; and*
- 11) *submission to and approval by Planning and Zoning of two (2) copies of a revised site plan (two sets for each phase if done in phases) prior to signing the Final Plat(s) for the Subdivision.*

LOCATOR MAP



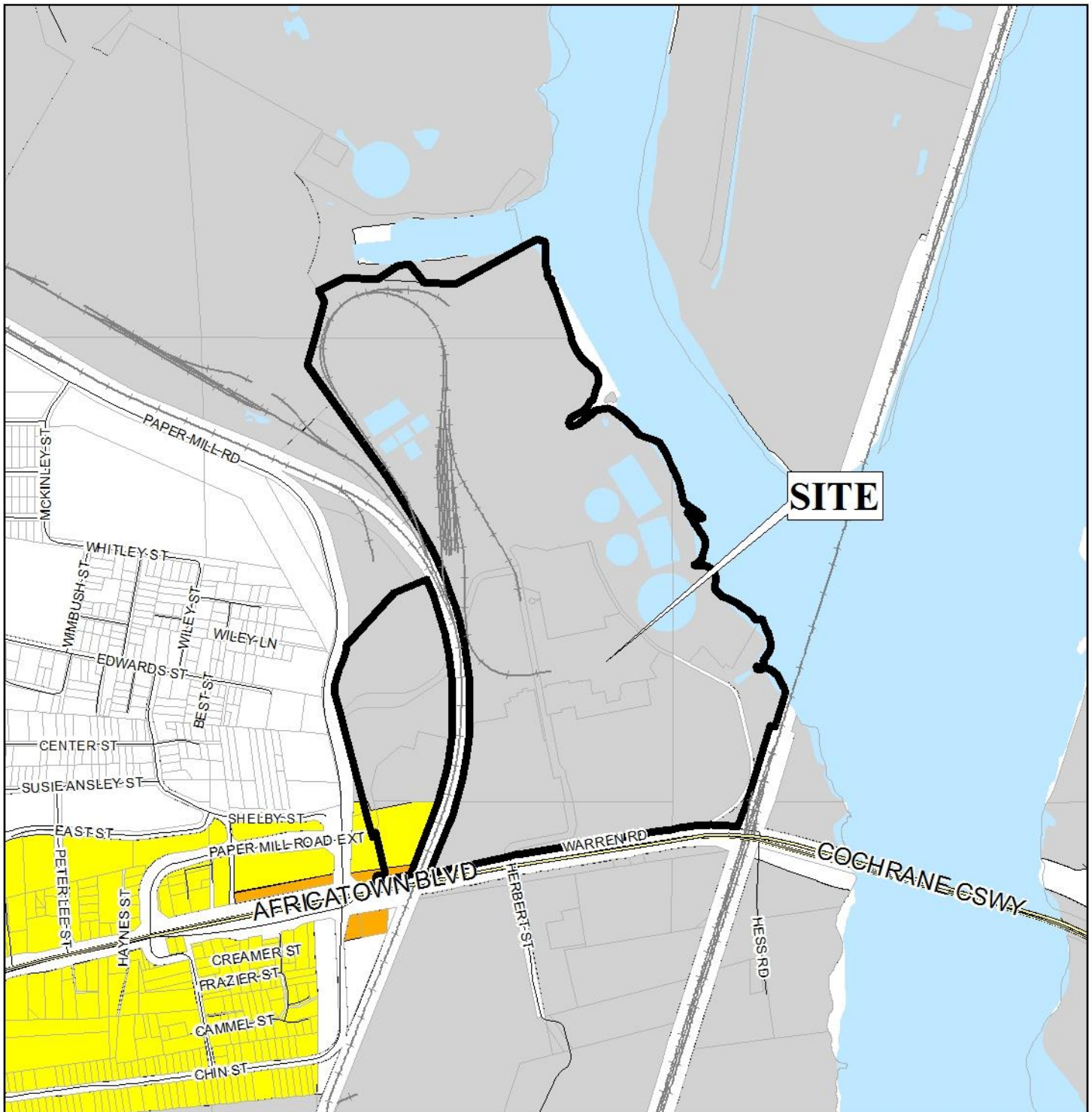
APPLICATION NUMBER 13 DATE June 21, 2018

APPLICANT Kimberly Clark Subdivision

REQUEST Subdivision, Planned Unit Development



LOCATOR ZONING MAP



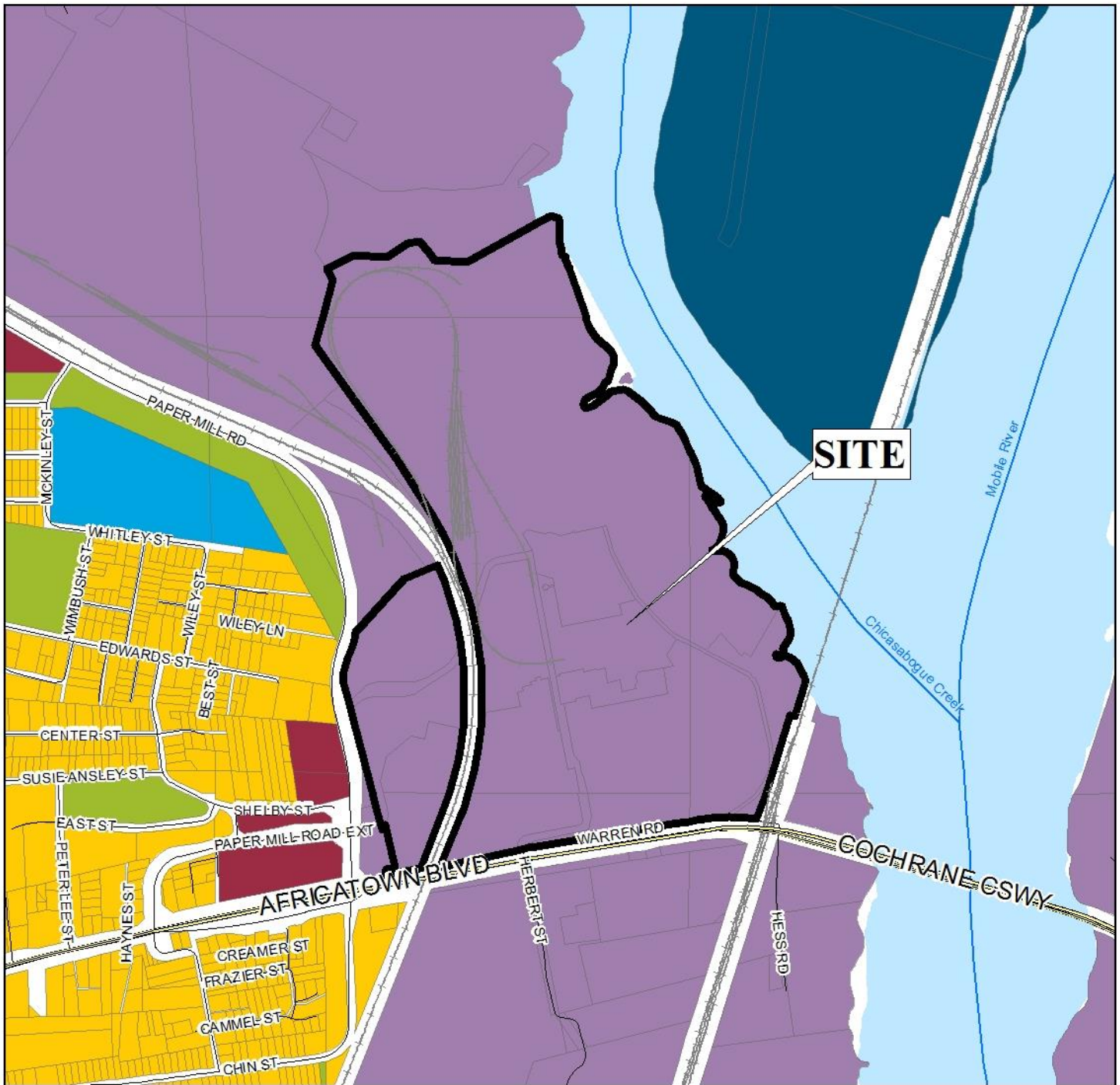
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REQUEST Subdivision, Planned Unit Development



FLUM LOCATOR MAP



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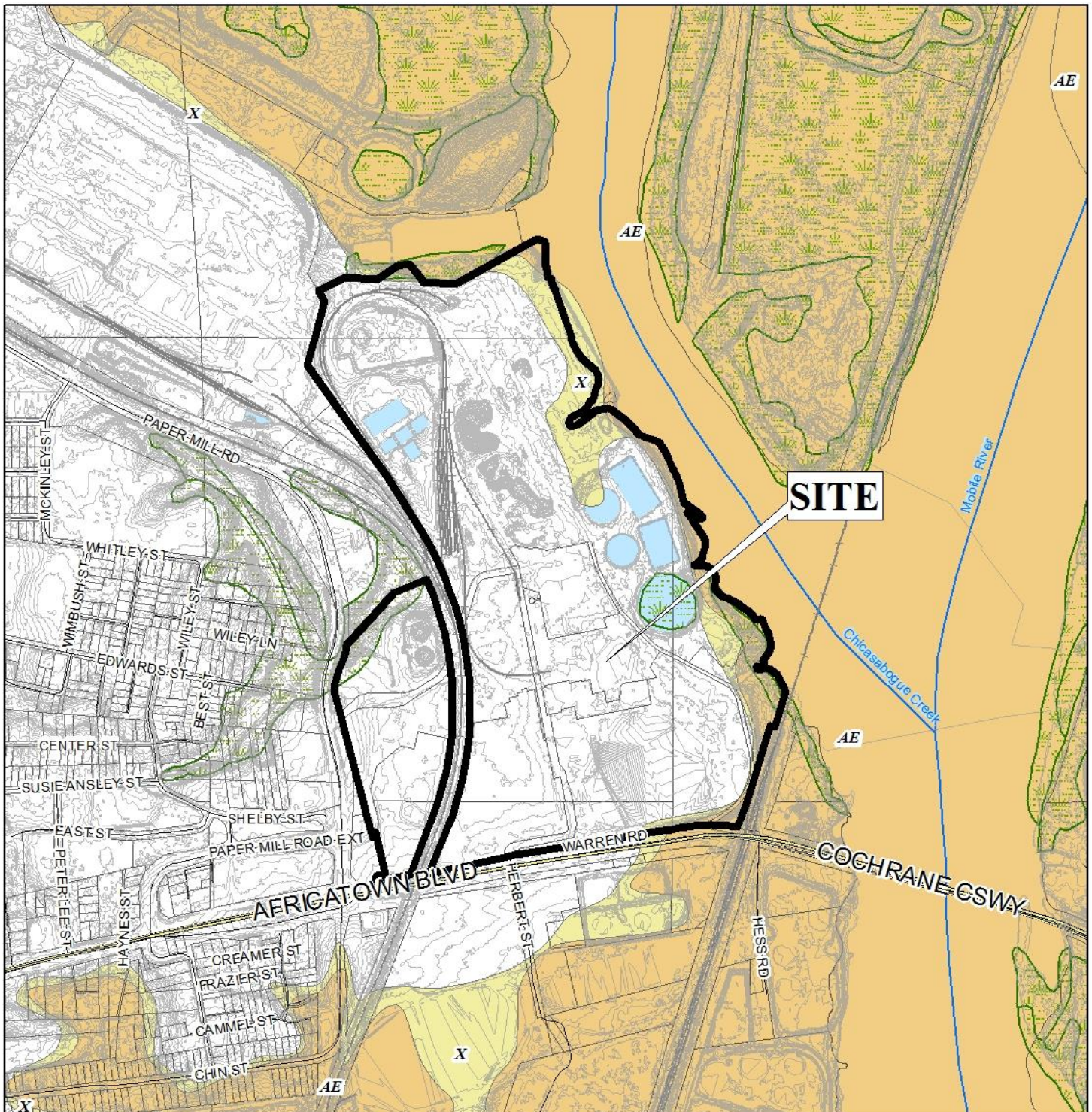
APPLICANT Kimberly Clark Subdivision

REQUEST Subdivision, Planned Unit Development

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



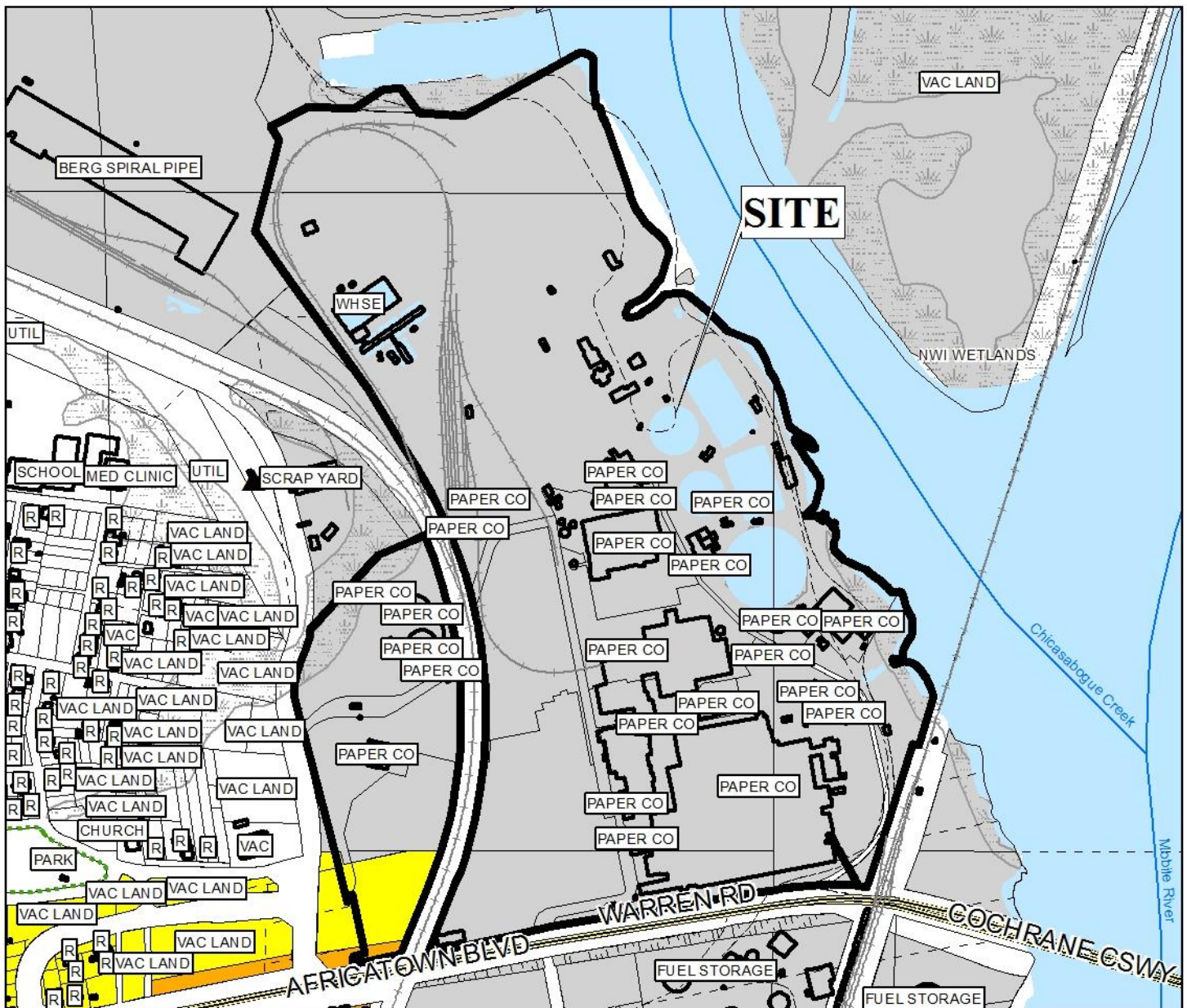
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial units. Residential units lie west of the site.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by industrial units. Residential units lie west of the site.

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SITE PLAN



The site plan illustrates the existing buildings, and proposed lots.

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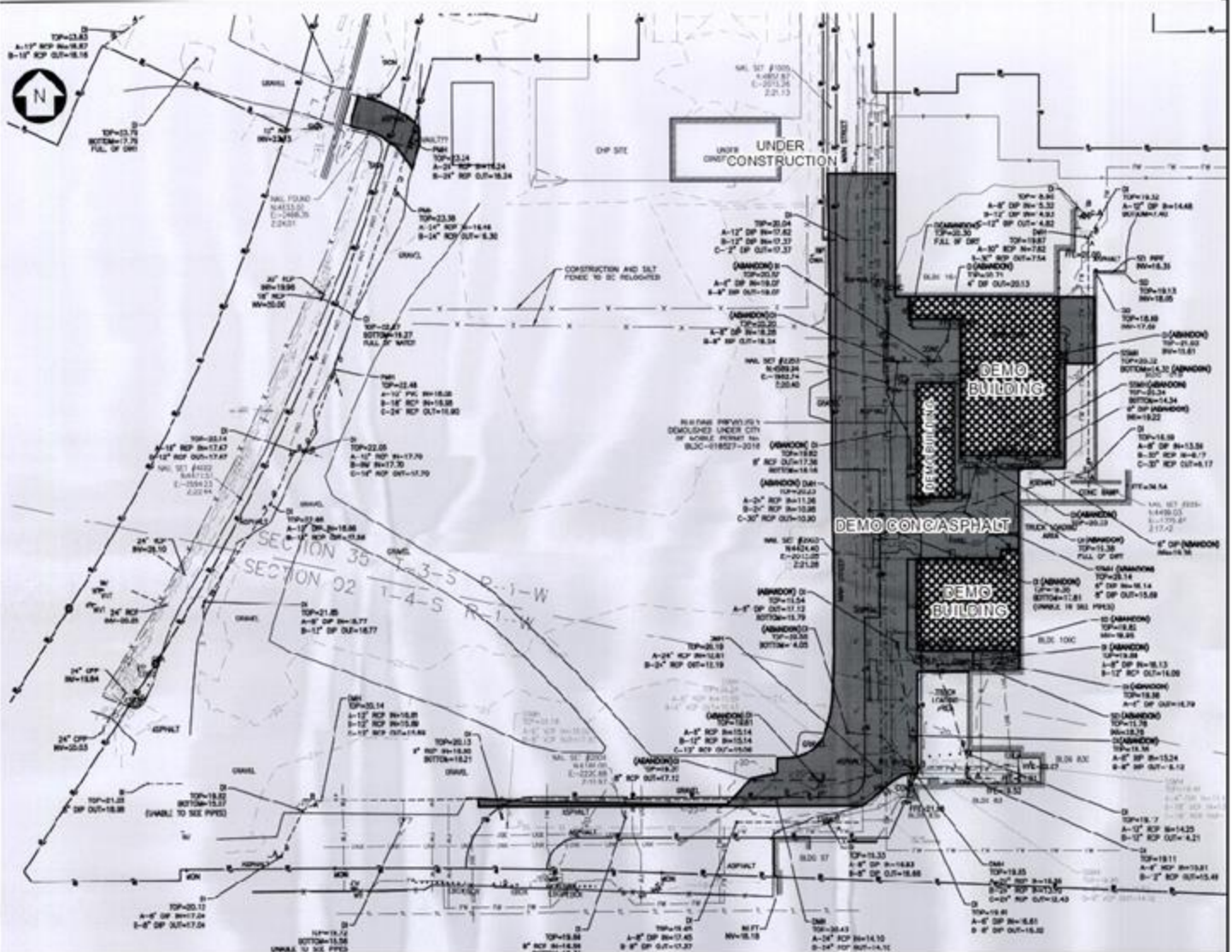
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NTS

DETAIL SITE PLAN



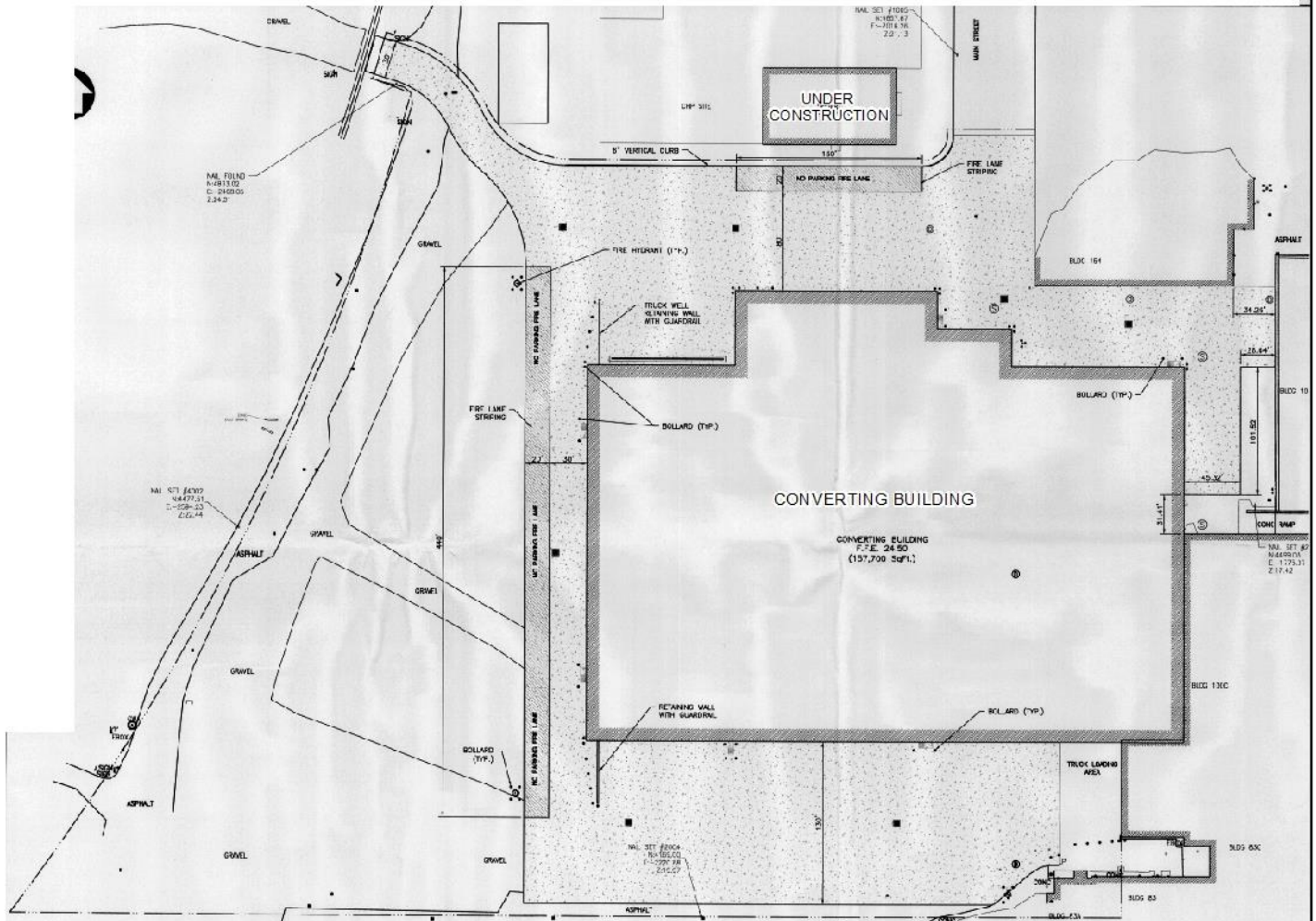
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DETAIL SITE PLAN



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