

## **JOY PLACE SUBDIVISION**

Engineering Comments: Must comply with all storm water and flood control ordinances. Must provide detention for any impervious area added to the site since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 1-lot, 0.2 acre  $\pm$  subdivision which is located at 171 Crenshaw Street and 2156 Clearmont Street (Northeast corner of Crenshaw Street and Clearmont Street), and is in Council District 5. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to combine two parcels into one legal lot of record. The previous legal lot was illegally subdivided in 1999, and the current owner wishes to re-establish the lot in order to allow the construction of a new carport.

The site fronts Crenshaw Street, a minor street provided with curb and gutter, and Clearmont Street, a minor street. The preliminary plat provided by the applicant does not depict right-of-way width of either street; thus, the plat should be revised to depict accurate right-of-way information. Dedication to provide 25-feet from the centerline may be required.

The site has a primary residence fronting Crenshaw and a garage apartment fronting Clearmont. The overall site only has one curb-cut onto Clearmont. A permit for a new curb-cut on Clearmont has been issued, to allow access to the proposed carport. Thus, a note should be placed on the final plat stating that the lot is limited to two curb-cuts along Clearmont Street with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

The lot is not labeled on the plat with its size in square feet, and should be so-labeled on the final plat, or a table should be provided furnishing the same information.

It should be pointed out that the Zoning Ordinance would allow a 9.7-foot street side, side yard setback along Clearmont Street. Staff recommends that the 25-foot setback along Clearmont required by the Subdivision Regulations be waived in lieu of the 9.7-foot setback allowed by the Zoning Ordinance. The preliminary plat should be revised to show the 25-foot setback along Crenshaw Street, and the 9.7-foot setback along Clearmont Street, if approved.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Depiction of the right-of-way widths for Crenshaw and Clearmont Street, and dedication to provide 25-feet from the centerline if necessary;
- 2) Placement of a note on the final plat stating that the lot is limited to two curb-cuts along Clearmont Street with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) Depiction of the 25-foot minimum building setback line along Crenshaw Street, and the waiver of 25-foot setback in lieu of the 9.7-foot building setback line along Clearmont Street;
- 4) Labeling of the lot with its size in square feet, or the provision of a table on the plat furnishing the same information;
- 5) Placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 6) Full compliance with all municipal codes and ordinances.

## LOCATOR MAP



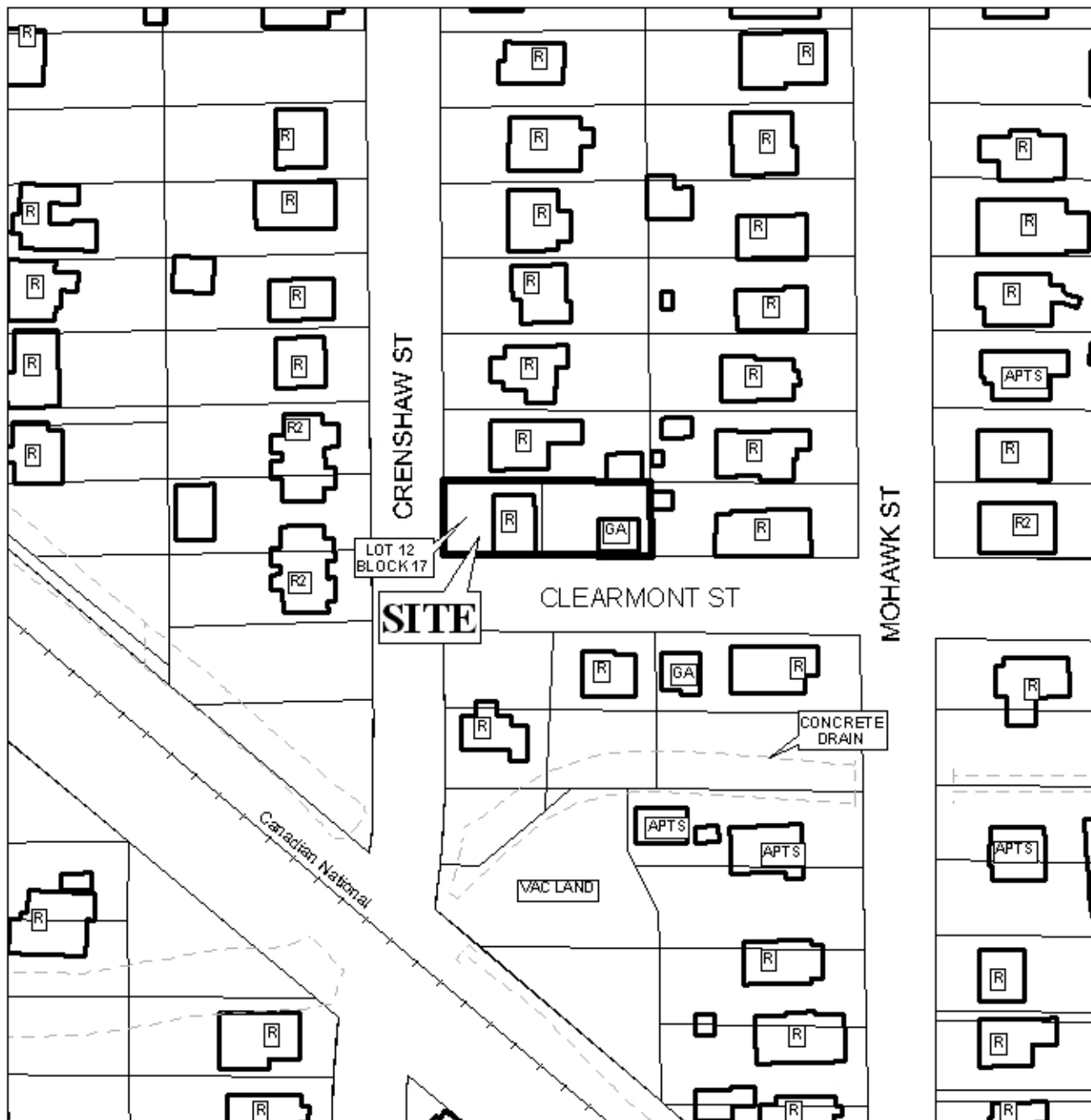
APPLICATION NUMBER 13 DATE December 3, 2009

APPLICANT Joy Place Subdivision

REQUEST Subdivision



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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