

PLANNED UNIT DEVELOPMENT,
PLANNING APPROVAL, SUBDIVISION &
SIDEWALK WAIVER REQUEST STAFF REPORT **Date: July 22, 2010**

NAME Gulf Coast Asphalt Company Subdivision Unit 2

SUBDIVISION NAME Gulf Coast Asphalt Company Subdivision Unit 2

LOCATION 835 Cochrane Causeway (West side of Cochrane Causeway, 1± mile North of Bankhead Tunnel)

CITY COUNCIL DISTRICT District 2

PRESENT ZONING I-2, Heavy Industry District

AREA OF PROPERTY 1 Lot / 29.3 ± Acres

CONTEMPLATED USE *Planned Unit Development* approval to allow multiple buildings on a single building site, *Planning Approval* to allow a bulk petroleum facility in an I-2 Heavy Industry District, *Subdivision* approval to create one legal lot and *Sidewalk Waiver* approval to waive construction of sidewalks along Cochrane Causeway.

TIME SCHEDULE None Specified

ENGINEERING
COMMENTS

Show Minimum Finished Floor Elevation on Plat. Must comply with all storm water and flood control ordinances. There is to be no fill placed within the limits of the flood plain without providing compensation or an approved "No Rise" certification. Placement of any temporary construction trailer will require foundation design in accordance with FEMA 85 and must meet minimum FFE. Resolution of CAV discrepancies required prior to signing of plat.

Sidewalk Waiver: Due to existing open drainage system, recommend approval of waiver.

TRAFFIC ENGINEERING
COMMENTS

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY
COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Full compliance with frontage tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.

FIRE DEPARTMENT

COMMENTS

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is requesting Planned Unit Development approval to allow multiple buildings on a single building site, Planning Approval to allow a bulk petroleum facility in an I-2 Heavy Industry District, Subdivision approval to create one legal lot, and Sidewalk Waiver approval to waive construction of sidewalks along Cochrane Causeway.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazards, and to determine if the proposal is in harmony with the orderly and appropriate development of the district. It is very important to note that the Planning Approval review is **site plan specific**; therefore, any future changes to the site plans, as approved, by current or future applicants must be submitted for Planning Approval review.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applications currently under consideration are located on Blakely Island with more than 900,000 barrels of capacity for petroleum products located on the site. Gulf Coast Asphalt Company plans to replace four storage tanks and construct two new tanks. The applicant also plans to relocate approximately 400-feet of containment berm.

The site fronts Cochrane Causeway (US Highway 90), a planned major street which has an existing right-of-way of 120-feet. The Major Street Plan component of the Comprehensive Plan calls for 100-feet of right-of-way; thus, the site has adequate right-of-way.

Access for the site should be limited to the existing curb-cut along Cochrane Causeway with size, design and location of any new or revised curb-cuts to be approved by Traffic Engineering, and should comply with AASHTO standards.

To the rear of the site is Mobile River and as such the area may be considered environmentally sensitive; thus the approval of all applicable federal, state and local agencies would be required.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Dumpster locations for the site are not depicted on the site plan to comply with Section 64-4.D.9 of the Zoning Ordinance; therefore, the applicant should make a provision for dumpster locations and place a note on the site plan stating that dumpsters will be completely screened from view. If dumpsters will not be used, provide a statement indicating such, and how garbage will be removed from the site.

The 25-foot minimum building setback line is not depicted on the plat along Cochrane Causeway within the proposed building site; therefore, the preliminary plat should be revised to show the 25-foot setback line along Cochrane Causeway within the proposed building site.

It should be noted that the Fire Department had several issues of concern including:

- 1) illustration of site circulation and access for the Southern portion of the site;
- 2) illustration of what type surface material exists on the roadway where the asphalt pavement ends; and
- 3) regarding fire hydrants- how many, location and will any new hydrants be added due to the size of the new tanks.

Regarding the Sidewalk Waiver request the applicant states that Blakely Island has only industrial sites and no residential housing. The applicant also states that there are no existing sidewalks on Blakely Island.

With regard to the applicant's request, not having sidewalks on Blakely Island does not negate the fact that a sidewalk is required by the Zoning Ordinance. It should be noted that an analysis of GIS shows that there are no sidewalks in the vicinity of the site, and that in January 2003 the applicant was approved for a sidewalk waiver request across the street to the East to waive construction of the sidewalk on Cochrane Causeway. Also, the Commission approved a sidewalk waiver request just South of the site in April 2005; however, it should also be noted that the Commission has rarely allowed the absence of sidewalks in an area as justification for waiving sidewalk requirements. Further, it has been the policy of the Commission to approve sidewalk waivers only in cases where there was an engineering reason or physical barrier that made installation of the sidewalk impracticable. In this instance, City Engineering has determined that due to existing open drainage system, recommend approval of sidewalk waiver.

RECOMMENDATION

Subdivision: Based on the preceding, it is recommended that this application be held over until the August 19th meeting, with required information submitted by August 4th, to allow the applicant to address the following items:

- 1) compliance with Fire comments: *All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.*
- 2) depiction and labeling of the 25-foot minimum building setback line along Cochrane Causeway;
- 3) full compliance with Engineering comments: *Show Minimum Finished Floor Elevation on Plat. Must comply with all storm water and flood control ordinances. There is to be no fill placed within the limits of the flood plain without providing compensation or an approved "No Rise" certification. Placement of any temporary construction trailer will require foundation design in accordance with FEMA 85 and must meet minimum FFE. Resolution of CAV discrepancies required prior to signing of plat.*

Planned Unit Development: Based on the preceding, it is recommended that this application be held over until the August 19th meeting, with required information submitted by August 4th, to allow the applicant to address the following items:

- 1) illustration of site circulation and access for the Southern portion of the site;
- 2) illustration of what type surface material exists on the roadway where the asphalt pavement ends; and
- 3) regarding fire hydrants- how many, location and will any new hydrants be added due to the size of the new tanks.
- 4) compliance with Urban Forestry comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64) Full compliance with frontage tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry;
- 5) compliance with Engineering comments: *Show Minimum Finished Floor Elevation on Plat. Must comply with all storm water and flood control ordinances. There is to be no fill placed within the limits of the flood plain without providing compensation or an approved "No Rise" certification. Placement of any temporary construction trailer will require foundation design in accordance with FEMA 85 and must meet minimum FFE. Resolution of CAV discrepancies required prior to signing of plat.*
- 6) depiction of dumpster locations on the site plans to comply with Section 64-4.D.9 of the Zoning Ordinance or placement of a note on the site plans stating that dumpsters will be completely screened from view or placement of a note stating how garbage will be removed;
- 7) placement of a note on the site plan stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities;

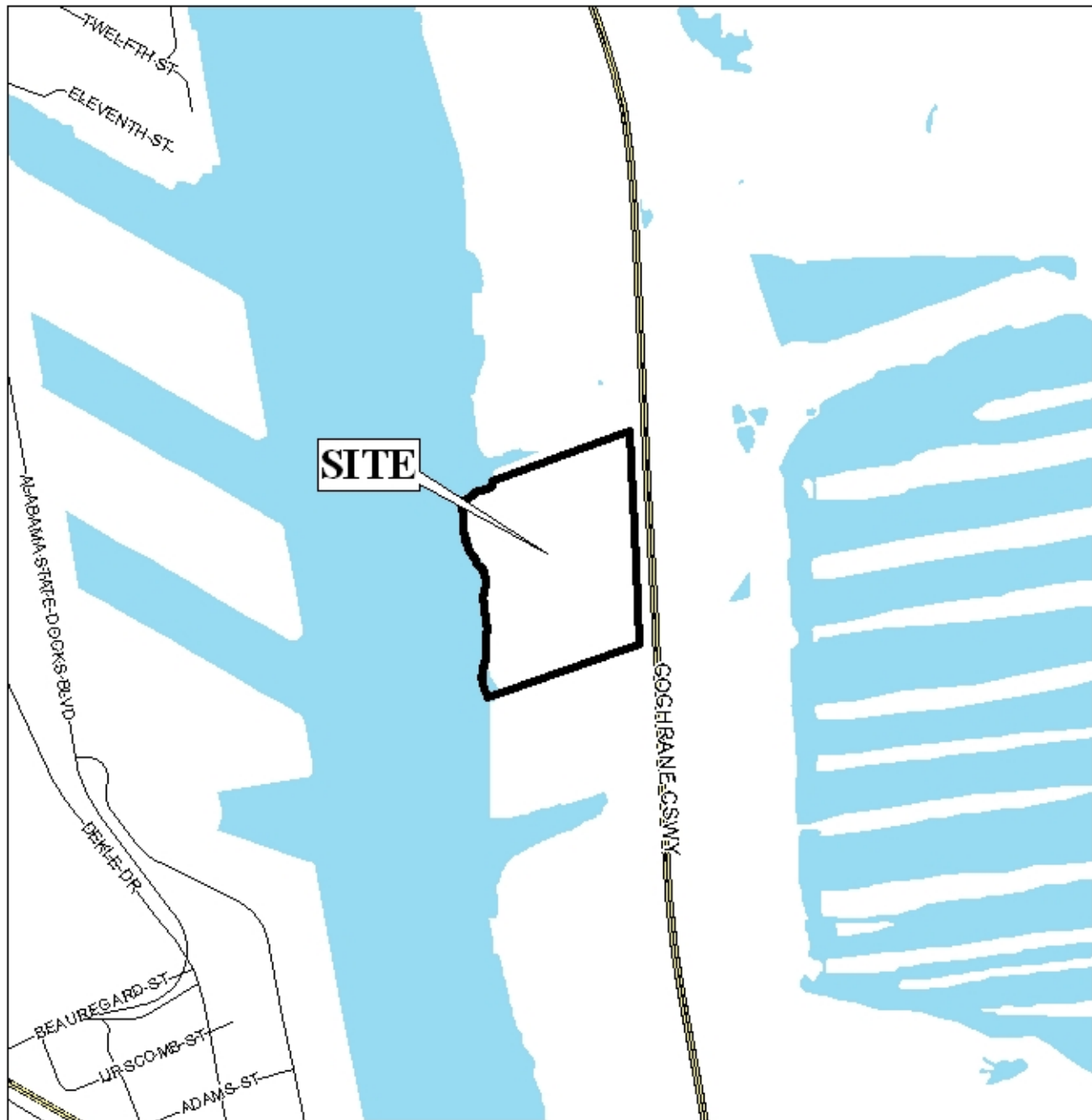
- 8) placement of a note on the site plan stating that approval of all applicable federal, state and local environmental agencies for wetlands or floodplain issues is required prior to the issuance of any permits or land disturbance activities;
- 9) placement of a note on the site plan stating that any changes to the site plan will require new applications for Planning Approval and Planned Unit Development Approval prior to the issuance of any permits; and

Planning Approval: Based on the preceding, it is recommended that this application be held over until the August 19th meeting, with required information submitted by August 4th, to allow the applicant to address the following items:

- 1) illustration of site circulation and access for the Southern portion of the site;
- 2) illustration of what type surface material exists on the roadway where the asphalt pavement ends; and
- 3) regarding fire hydrants- how many, location and will any new hydrants be added due to the size of the new tanks.
- 4) compliance with Urban Forestry comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64) Full compliance with frontage tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry;
- 5) compliance with Engineering comments: *Show Minimum Finished Floor Elevation on Plat. Must comply with all storm water and flood control ordinances. There is to be no fill placed within the limits of the flood plain without providing compensation or an approved "No Rise" certification. Placement of any temporary construction trailer will require foundation design in accordance with FEMA 85 and must meet minimum FFE. Resolution of CAV discrepancies required prior to signing of plat.*
- 6) depiction of dumpster locations on the site plans to comply with Section 64-4.D.9 of the Zoning Ordinance or placement of a note on the site plans stating that dumpsters will be completely screened from view or placement of a note stating how garbage will be removed;
- 7) placement of a note on the site plan stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities;
- 8) placement of a note on the site plan stating that approval of all applicable federal, state and local environmental agencies for wetlands or floodplain issues is required prior to the issuance of any permits or land disturbance activities;
- 9) placement of a note on the site plan stating that any changes to the site plan will require new applications for Planning Approval and Planned Unit Development Approval prior to the issuance of any permits; and

Sidewalk Waiver: Based on the preceding, it is recommended that this application be held over until the August 19th meeting.

LOCATOR



APPLICATION NUMBER 13,14,15,16 DATE July 22, 2010
APPLICANT Gulf Coast Asphalt Company Subdivision Unit 2
REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver

N
NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

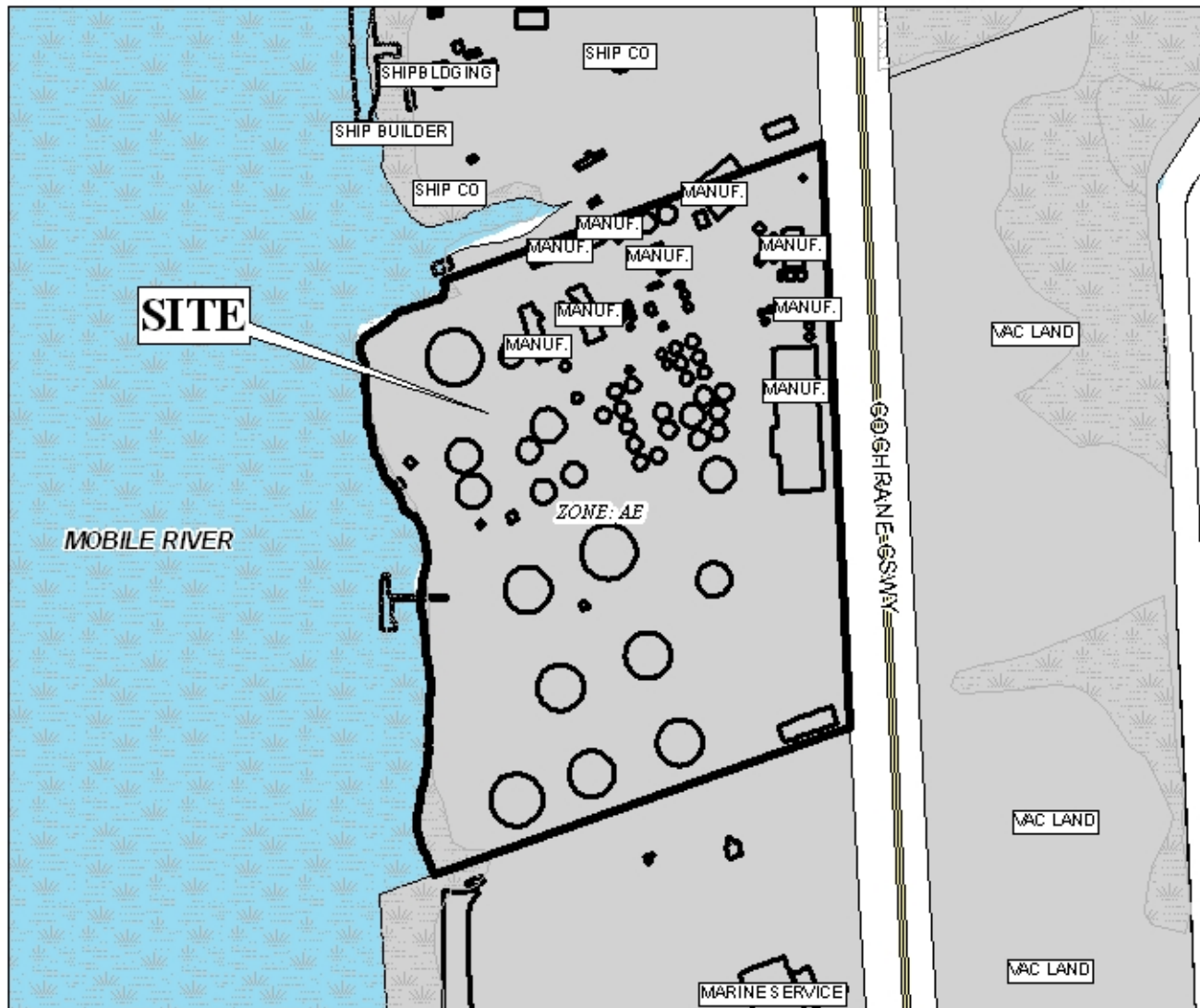


This site is surrounded by industrial land use.

APPLICATION NUMBER 13, 14, 15, 16 DATE July 22, 2010
APPLICANT Gulf Coast Asphalt Company Subdivision Unit 2
REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver

N
NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by industrial land use.

APPLICATION NUMBER 13,14,15,16 DATE July 22, 2010

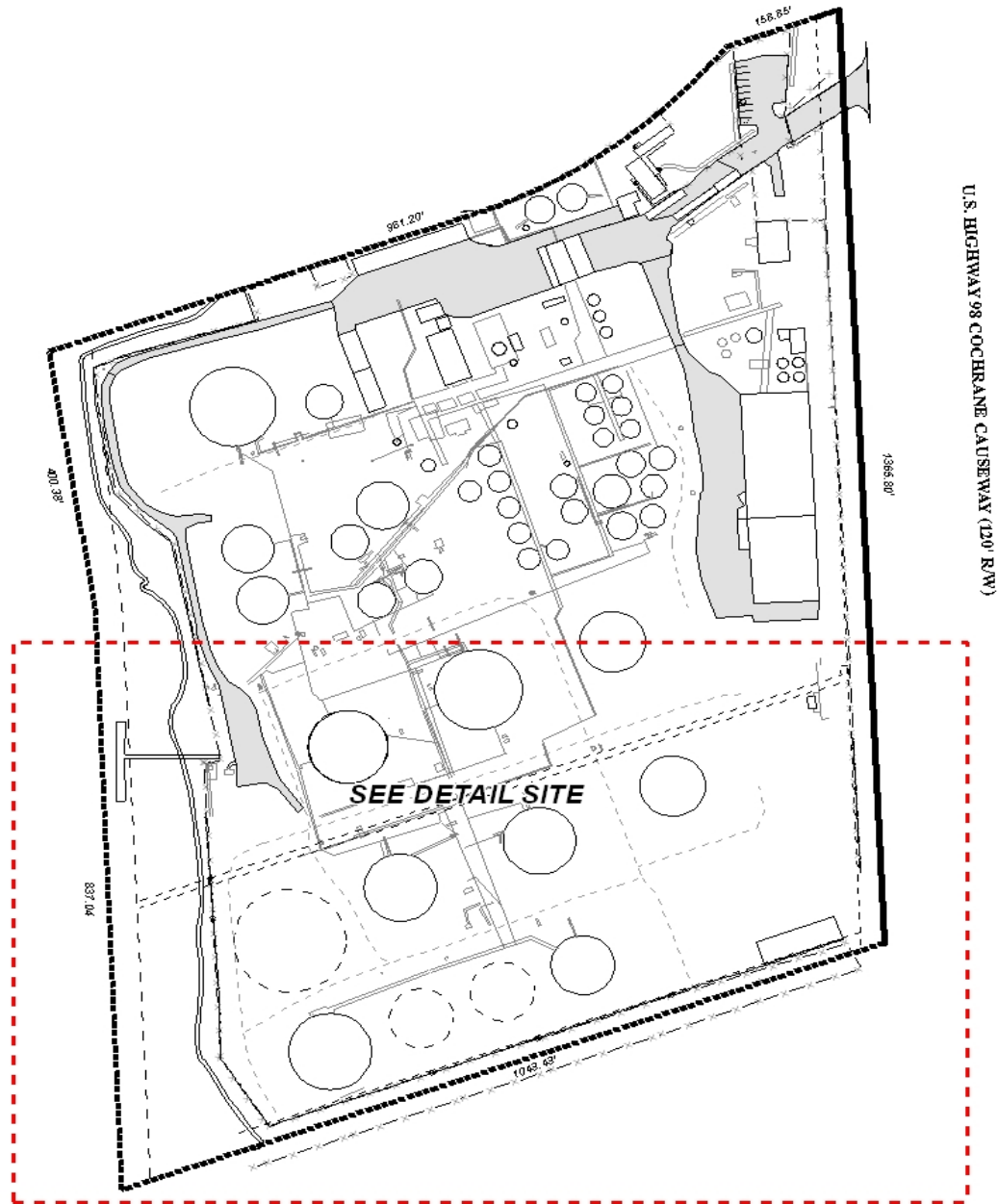
APPLICANT Gulf Coast Asphalt Company Subdivision Unit 2

REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
-----	-----	-----	-----	-----	-----	-----	-----	------	-----	-----	-----	-----	-----	-----	-----

SITE PLAN



This site plan illustrates the existing lot configuration and structures.
See detail site for proposed modifications to southern half of site.

APPLICATION NUMBER 13, 14, 15, 16 DATE July 22, 2010

APPLICANT Gulf Coast Asphalt Company Subdivision Unit 2

REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver

N
NTS

DETAIL SITE PLAN



APPLICATION NUMBER 13, 14, 15, 16 DATE July 22, 2010

APPLICANT Gulf Coast Asphalt Company Subdivision Unit 2

REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver

