

HOLLEY ESTATES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 75.0 \pm acres, 67 lot subdivision which is located on the East side of Snow Road, 3/10 mile \pm North of Jeff Hamilton Road. The subdivision is served by public water and individual septic systems.

The purpose of this application to subdivide two legal lots and a metes and bounds parcel into 67 lots with the remainder as future development.

Snow Road South, which is a planned major street, has an existing right-of-way in compliance with the Major Street Plan. As proposed, Lots 1, 14-17, 29-32, 63-64, and 67 would front both Snow Road South and the new streets. In order to provide proper access management along the major street, the placement of a note on the final plat stating the Lots 1, 15-17, 29-32, 63-64, and 67 are denied direct access to Snow Road South should be required.

Section V.B.1 states that when a proposed subdivision is adjacent to large unsubdivided land, a street stub should be provided to allow for convenient circulation; therefore, the provision of a street stub to the East, should be required.

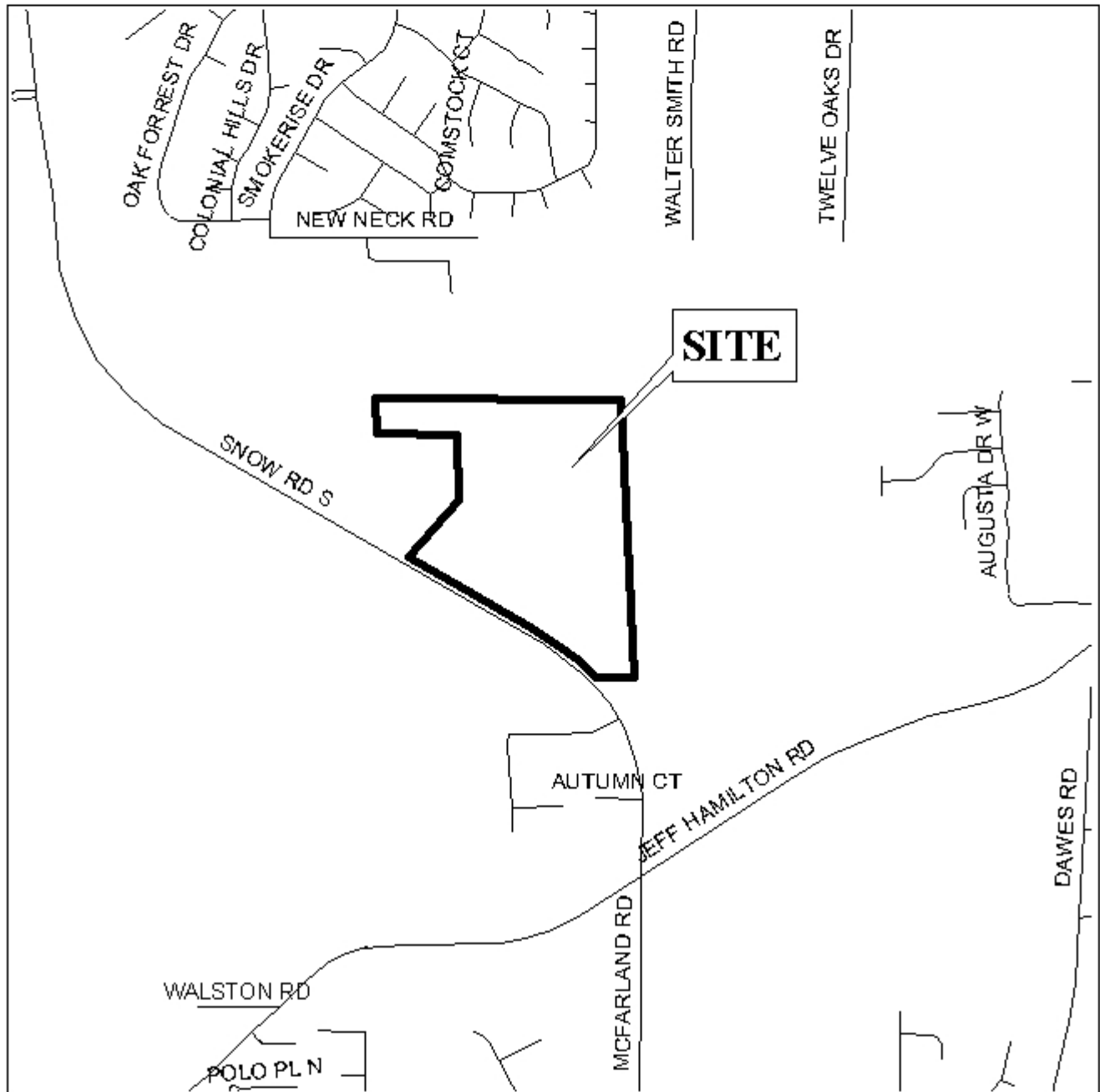
As illustrated on the Site Plan, the site contains wetlands, thus this area could be considered environmentally sensitive; therefore, the developer must obtain any necessary federal, state, and local environmental approvals.

The 25-foot minimum building setback lines are not shown but would be required on the final plat.

This site is located in the County, thus a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property, must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the placement of a note on the final plat stating the Lots 1, 14-17, 29-32, 63-64, and 67 are denied direct access to Snow Road South; 2) the provision of a street stub to the East; 3) the developer obtain any necessary federal, state, and local environmental approvals; 4) the placement of the 25-foot minimum building setback lines on the final plat; and 5) the placement of a note on the final plat stating any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

LOCATOR MAP



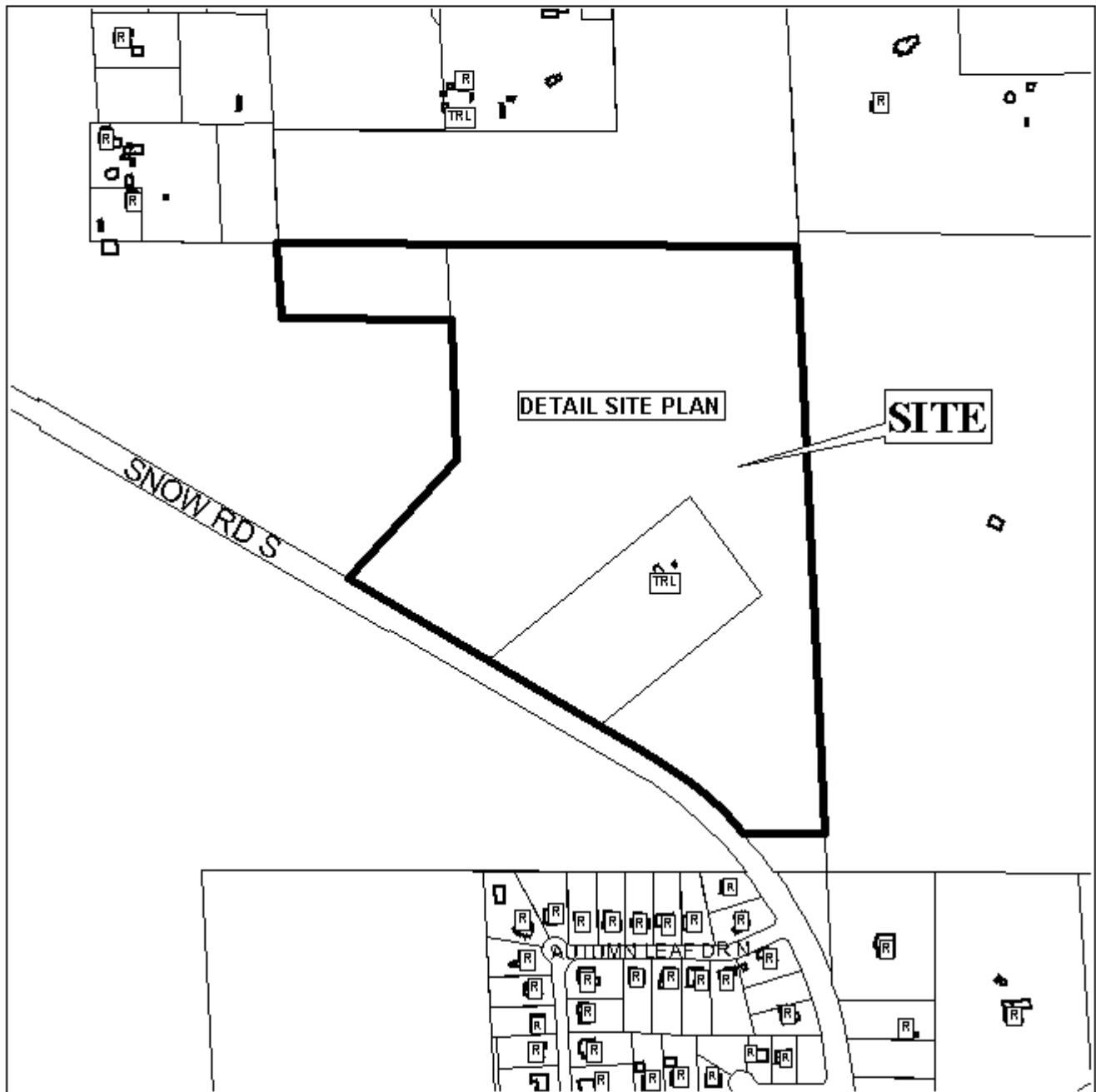
APPLICATION NUMBER 15 DATE July 15, 2004

APPLICANT Holley Estates Subdivision

REQUEST Subdivision



HOLLEY ESTATES SUBDIVISION



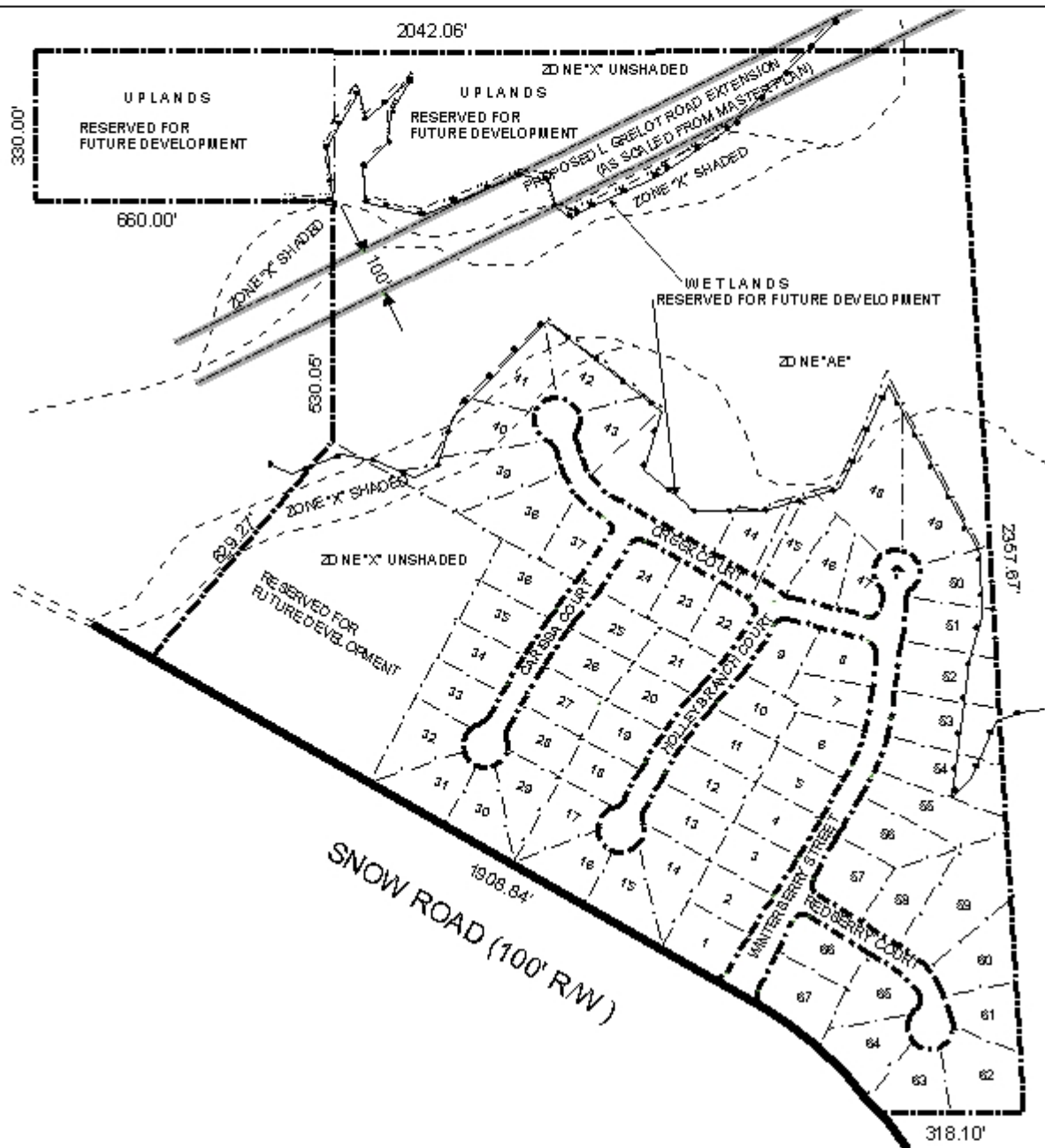
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LEGEND



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DETAIL SITE PLAN



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