

**SUBDIVISION & PLANNED UNIT
DEVELOPMENT STAFF REPORT****Date: June 2, 2016**

<u>NAME</u>	Word of God Church
<u>SUBDIVISION NAME</u>	Word of God Church Subdivision
<u>LOCATION</u>	6455 & 6459 Overlook Road (South side of Overlook Road, at the South terminus of Godwin Lane).
<u>CITY COUNCIL DISTRICT</u>	District 7
<u>PRESENT ZONING</u>	R-1, Single Family District
<u>AREA OF PROPERTY</u>	3.3± Acre
<u>CONTEMPLATED USE</u>	Subdivision approval to create one legal lot of record; and Planned Unit Development to allow multiple buildings on a single building site with shared access and parking.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Not Specified
<u>ENGINEERING COMMENTS</u>	

Subdivision:

The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- C. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
- D. Show and label each and every Right-Of-Way and easement.
- E. Provide and label the monument set or found at each subdivision corner.
- F. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- G. Provide the Surveyor's Certificate and Signature.

- H. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- I. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- J. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- K. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures.
- L. After FINAL PLAT review by the Engineering Dept. provide a copy of the Final Plat along with the original and any review copies when submitting for City Engineer signature.

Planned Unit Development:**ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:**

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
- 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING**COMMENTS**

Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

REMARKS

The applicant is requesting Planned Unit Development to allow multiple buildings on a single building site with shared access and parking, and Subdivision approval to create one legal lot of record in an R-1, Single Family Residential District.

The applicant proposes to redevelop the existing church site in three phases, replacing the two existing buildings with four new buildings.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

It is very important to note that the PUD reviews are site plan specific; therefore any future changes to the overall site plan must be submitted for PUD review. Additionally, if the site plan is changed from what is approved by the Planning Commission, a new application for PUD application will be required.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The plat illustrates the proposed 1-lot subdivision which is sited on the South side of Overlook Road, at the South terminus of Godwin Lane within Council District 7. The applicant states that the Subdivision's water and sanitary facilities are *existing*; however, more information is needed regarding the entity (or entities) that provide services for such facilities. For instance, the property could be served by public water and individual septic systems. The applicant should

revise the application or provide a written statement to indicate the providers for both water and sanitary sewer services.

The site is located on Overlook Road, a minor street without curb and gutter. As a minor street without curb and gutter, this street requires a 60' right-of-way width; however, the right-of-way width for Overlook Road has not been depicted on the preliminary plat. The Final Plat, if approved, should be revised to reflect dedication sufficient to provide 30' from the centerline of Overlook Road, if necessary.

The 25-foot minimum setback line is not indicated on the preliminary plat. If approved, the Final Plat should be revised to depict the 25-foot minimum building setback line along the property.

As a means of access management, a note should be placed on the Final Plat stating that the lot is limited to the one curb cut to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The plat should be revised to provide the lot size information in both square feet and in acres.

The entire site appears to be depicted as a Suburban Neighborhood, per the recently adopted Map for Mobile Plan. The intent of a Suburban Neighborhood area is to allow for:

- Emphasize connectivity to surrounding neighborhoods and close service and retail
- Accommodation of pedestrian and bicycle traffic in addition to automobiles
- Appropriate scaled infill development to complement existing character of neighborhoods

It should be noted that the Map for Mobile Plan is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. Moreover, the Plan allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, zoning classification.

The subject site currently consists of two one-story brick buildings with two asphalt access driveways leading into the property. The applicant wishes to develop the site within three phases, with a total of four buildings. The first phase, the basis of this application, will involve the construction of a 80' x 100' pre-engineered metal building that will function as a multi-purpose/dining hall, and will be equipped with a kitchen, restrooms, and a small gym. The two existing brick one-story buildings will remain at this time.

According to the applicant, Phases 2 and 3 will involve the construction of three additional buildings, increasing the parking area, and removing the two existing one-story brick buildings from the subject site. As previously mentioned, the construction of additional buildings, increased parking, and the removal of the two existing buildings will require a new PUD application for each phase of development. No timeline has been given as to the specifics of each construction phase.

The subject site is currently zoned R-1, Single Family Residential, but the use of the site as a church or religious facility, which is inclusive of a parish house, community house, and educational buildings, requires Planning Approval in R-1 zoned districts. The subject site received Planning Commission approval in 1997 to allow an addition to the existing church structure for a gift shop and educational facility; however, if the site will continue to be used as a church, the applicant will need to submit a new Planning Approval application due to the change of site plan and expansion of facilities.

The proposed development appears to be compliant as it relates to site coverage; however, the site plan should be revised to illustrate compliant landscaping, tree, and parking calculations as required by Section 64-4.E of the Zoning Ordinance. Specifically, the landscape and tree calculations should also indicate the total site area, 12% of the total landscaped area required, 60% of the total frontage area required, the total landscaped area provided, as well as the frontage landscaped area provided.

The site plan illustrates that 86 parking spaces will be provided to accommodate the existing and proposed buildings on the subject property. The applicant states that there will be 297 seats in the church, requiring 74 parking spaces, but there is no mention of the proposed use for all buildings to be on the site. The applicant should revise the site plan to indicate the use of all proposed buildings on site so that staff can determine if it will comply with the Zoning Ordinance. Most of the parking spaces indicate wheel stops to prevent encroachment into landscaped areas, sidewalks, and buildings. It should be noted that the parking area must also provide lighting in compliance with Section 64-6.A.3 of the Zoning Ordinance at time of permitting.

The access widths, aisle widths, and parking space dimensions are all in compliance with the Zoning Ordinance, however, the one-way drives to the new structure may not comply with the 2012 International Fire Code minimum of 20 feet.

The 25' minimum building set back line is not depicted on the site plan, and should be illustrated on the revised site plan, adjusted for dedication.

As a means of access management, a note should be required on the revised site plan stating that the site is limited to the existing curb cuts to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The location and dimensions of the proposed HVAC mechanical equipment for the proposed structure are not illustrated on the site plan. The site plan should be revised to indicate the location, height and size of the HVAC mechanical equipment in compliance with Section 64-4.D.11 of the Zoning Ordinance.

The site plan does not indicate the method of garbage collection for the subject site. The site plan should be revised to illustrate that on site garbage collection will be served via a dumpster with a connection to sanitary sewer in accordance with Section 64-4.D.9 of the Zoning Ordinance, the placement of a note on the site plan indicating such, or a note should be indicated

on the site plan stating that garbage collection will be provided by curbside or private garbage collection services if a dumpster will not be provided.

A sidewalk is not depicted and labeled along the property's frontage on the site plan. If a sidewalk is not being proposed within the development of this site then a sidewalk waiver must be obtained, or a sidewalk must be provided and be clearly indicated on the site plan.

RECOMMENDATION

Subdivision: Based on the preceding, this application is recommended for holdover to the meeting of July 7, 2016 with revisions due by June 10th, to allow the applicant to address the following items:

- 1) Submittal of a Planning Approval application by June 7th;
- 2) Revision of the application or provision of a written statement to indicate the providers for both water and sanitary sewer services;
- 3) Dedication sufficient to provide 30' from the centerline of Overlook Road, if necessary;
- 4) Revision of the Final Plat to depict the 25-foot minimum building setback line;
- 5) Placement of a note on the Final Plat stating that the lot is limited to one curb cut to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 6) Revision of the Final Plat to illustrate the lot size in both square feet and in acres;
- 7) Subject to the Engineering comments: *(The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. C. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southwest corner of Riviere du Chien Road. D. Provide a written legal description for the proposed subdivision and matching bearing and distance labels. E. Include the ROW Vacation recording information on the final plat. F. Show and label all flood zones. G. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. H. Show and label each and every Right-Of-Way and easement. I. Provide and label the monument set or found at each subdivision corner. J. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. K. Provide the Surveyor's Certificate and Signature. L. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. M. The area along the north and the west property lines is receiving drainage from a public street and will require a drainage easement; the width and alignment of the easement shall be coordinated with, and approved by, the City Engineer. N. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile,*

Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. O. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. P. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. Q. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures. R. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);

- 8) Subject to the Traffic Engineering comments: *(Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 9) Subject to the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).]; and*
- 10) Subject to the Fire Department comments: *[All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).].*

RECOMMENDATION

Planned Unit Development: Based on the preceding, this application is recommended for holdover to the meeting of July 7, 2016 with revisions due by June 10th, to allow the applicant to address the following items:

- 1) Submittal of a Planning Approval application by June 7th;
- 2) Provision of a written statement to indicate the timeline for construction;
- 3) Revision of the site plan to illustrate compliant landscaping, tree, and parking calculations as required by Section 64-4.E of the Zoning Ordinance;
- 4) Revision of the site plan to illustrate the 25' minimum building set back line;
- 5) Revision of the site plan to illustrate curbing or bumper stops for each parking space abutting landscaped area;
- 6) revision of the site plan to indicate the proposed use of each building on the site;
- 7) Revision of the site plan to indicate lighting within the parking area will be in compliance with Sections 64-6.A.3 and 64-6A.8. of the Zoning Ordinance.
- 8) Revision of the site plan to indicate the location, height and size of the HVAC mechanical equipment in compliance with Section 64-4.D.11 of the Zoning Ordinance;
- 9) Revision of the site plan to illustrate that on site garbage collection will be served via a dumpster with a connection to sanitary sewer, curbside, or private collection services in accordance with Section 64-4.D.9 of the Zoning Ordinance, or the placement of a note on the site plan indicating such;

- 10) Revision of the site plan to include a sidewalk or the application for a sidewalk waiver if a sidewalk will not be provided;
- 11) Placement of a note on the site plan stating that the PUD is limited to the existing curb cuts to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.
- 12) Subject to the Engineering comments: *ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.];*
- 13) Subject to the Traffic Engineering comments and placement of a note stating: *(Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 14) Subject to the Urban Forestry comments and placement of a note stating: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).;*
- 15) Subject to the Fire Department comments and placement of a note stating: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).); and*
- 16) revision of the site plan to reflect 2012 IFC access requirements.

LOCATOR MAP



APPLICATION NUMBER 12 DATE June 2, 2016

APPLICANT Word of God Church Subdivision

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units and a church is located to the southeast.

APPLICATION NUMBER 12 DATE June 2, 2016

APPLICANT Word of God Church Subdivision

REQUEST Subdivision, Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

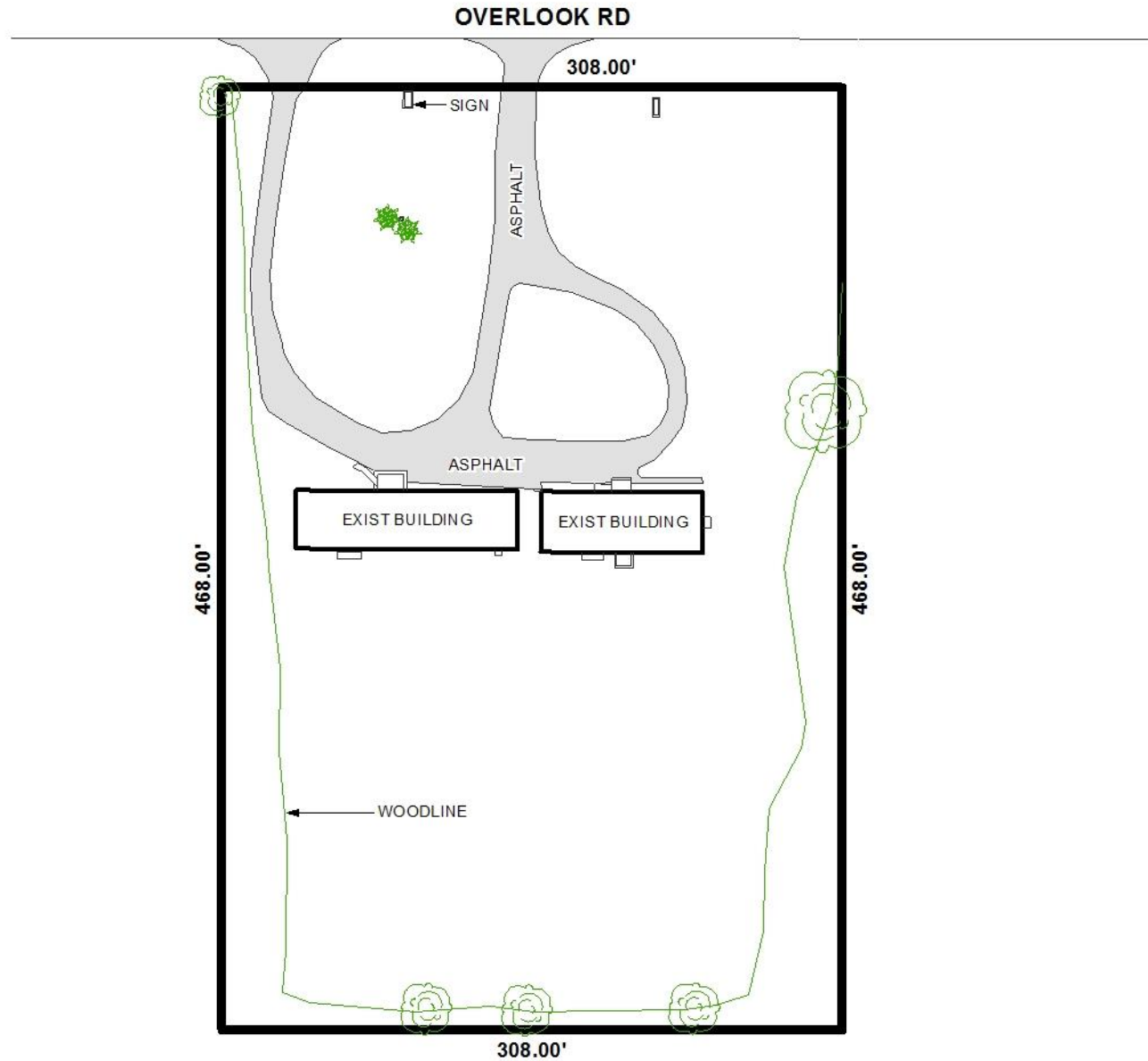


The site is surrounded by residential units and a church is located to the southeast.

APPLICATION NUMBER 12 DATE June 2, 2016
 APPLICANT Word of God Church Subdivision
 REQUEST Subdivision, Planned Unit Development



EXISTING SITE PLAN



The site plan illustrates the existing buildings.

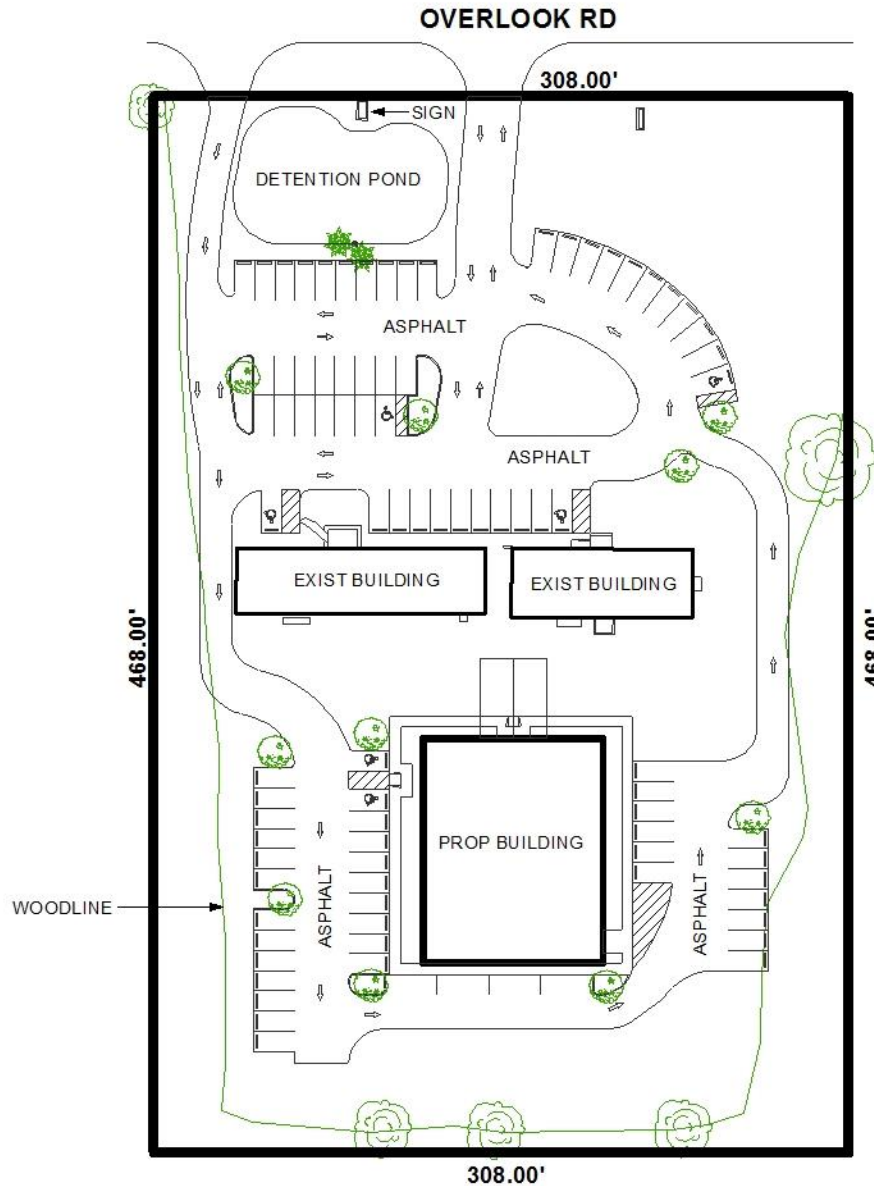
APPLICATION NUMBER 12 DATE June 2, 2016

APPLICANT Word of God Church Subdivision

REQUEST Subdivision, Planned Unit Development



PROPOSED SITE PLAN - PHASE 1



The site plan illustrates the existing buildings, proposed building, and proposed asphalt drives and parking.

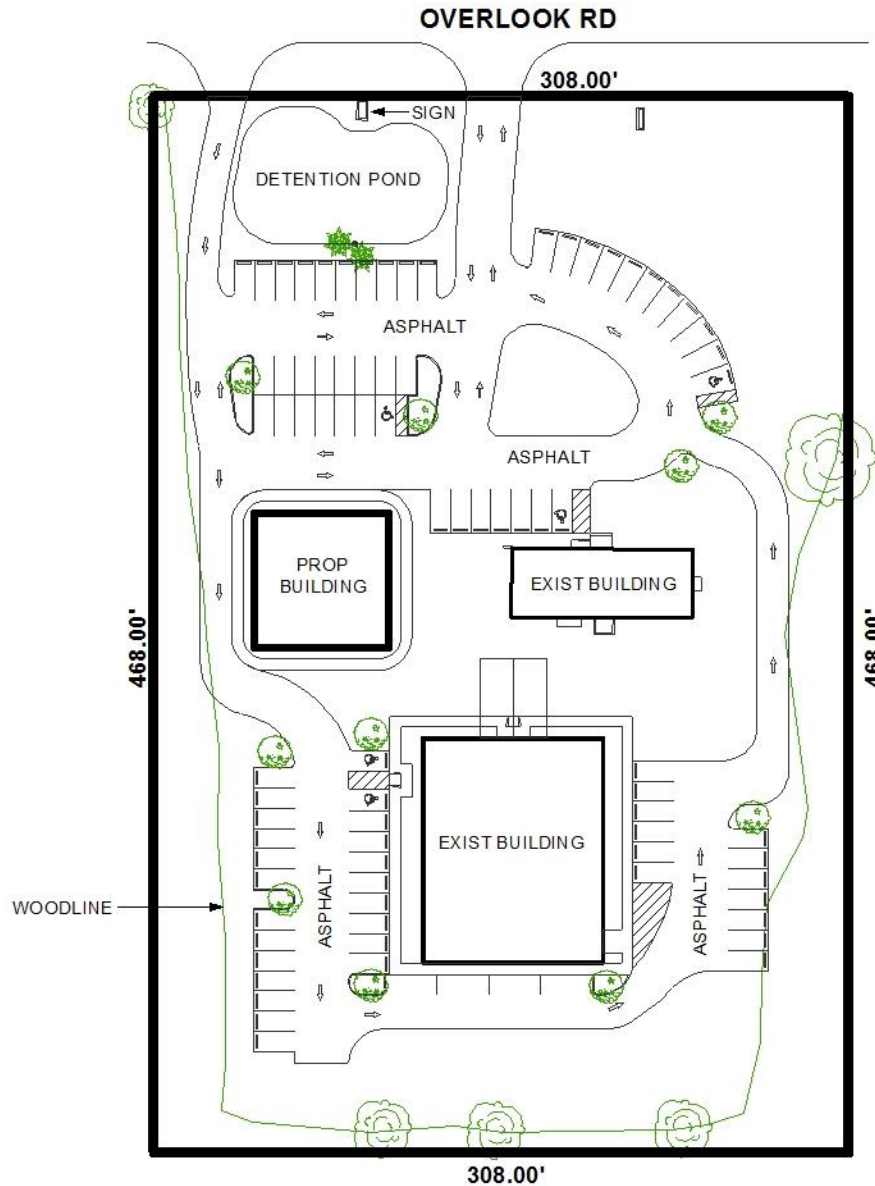
APPLICATION NUMBER 12 DATE June 2, 2016

APPLICANT Word of God Church Subdivision

REQUEST Subdivision, Planned Unit Development



PROPOSED SITE PLAN - PHASE 2



The site plan illustrates the existing buildings, proposed building, and asphalt drives and parking.

APPLICATION NUMBER 12 DATE June 2, 2016

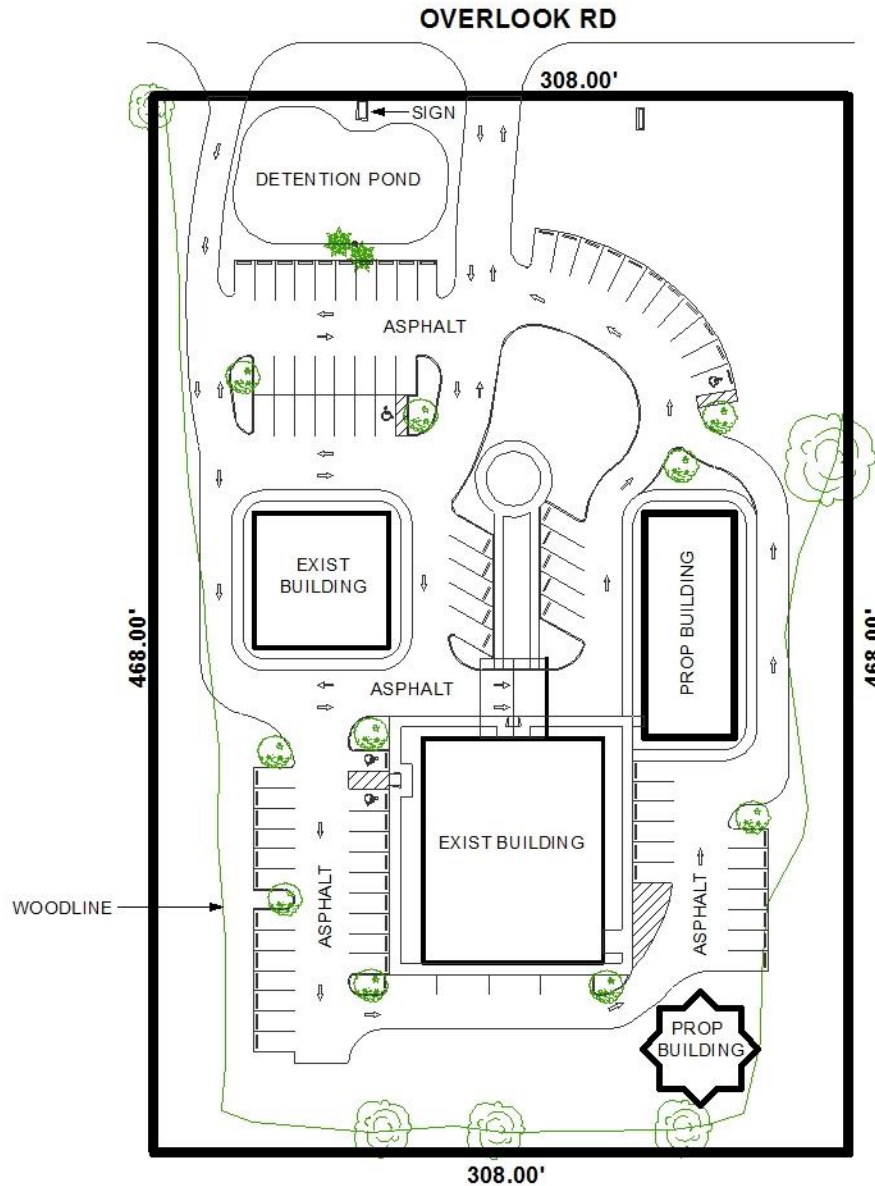
APPLICANT Word of God Church Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

PROPOSED SITE PLAN - PHASE 3



The site plan illustrates the existing buildings, proposed buildings, and asphalt drives and parking.

APPLICATION NUMBER 12 DATE June 2, 2016

APPLICANT Word of God Church Subdivision

REQUEST Subdivision, Planned Unit Development

