

## **USA POB SUBDIVISION**

**Engineering Comments:** The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any future addition(s) and/or land disturbing activity.
- B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 28 - #72) LOTS 2, 3, and 4 may receive historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- D. Provide dedication of the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northeast corner of LOT 4 (Center St. and Lyons Park Ave.), and the southeast corner of LOT 2 (Lyons Park Ave. and Lucy St.).
- E. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- F. Add a minimum 15 ft. wide access easement parallel to the existing drainage ditch and easement; and an access point off of the southern portion of Lambert St.
- G. Provide and label the monument set or found at each subdivision corner.
- H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- I. Provide the Surveyor's Certificate.
- J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- K. Add a note that sidewalk is required to be constructed or repaired along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- L. Show the recording information for the vacated ROW and alleys. Clarify the labeling of "...to be vacated" shown on the plan and "...now vacated..." shown in part of the legal description.
- M. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

**Traffic Engineering Comments:** Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

**Urban Forestry Comments:** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering Inc.

The preliminary plat illustrates the proposed 4-lot, 16.5 ± acre subdivision which is located in the area bounded by Spring Hill Avenue, USA Children's & Women's Parkway, Center Street, Lyons Park Avenue and Lucy Street, and is in Council District 2. The applicant states that the subdivision is served by city water and sanitary sewer.

The purpose of this application is to create 4 legal lots of record from several existing lots.

In accordance with the Subdivision Regulations, all 4 proposed lots are compliant with the minimum size requirements. The minimum building setback line and lot size in square feet are illustrated on the preliminary plat and should be retained on the Final Plat, if approved.

The site has frontage along multiple streets: Spring Hill Avenue, USA Children's and Women's Parkway, Center Street, Lyons Park Avenue, Lucy Street, and Lambert Street. The existing right-of-way width for all streets is sufficient as the site is composed of existing lots; however, the proposed Lots 1 and 2 will require a waiver of Section V.D.8. of the Subdivision Regulations regarding double frontage lots since the proposed lots have frontage along multiple streets. The provision of a corner radius in compliance with Section V.D.6. of the Subdivision Regulations should also be required along Lyons Park Avenue where it intersects Center and Lucy Streets, and at the intersection of Lucy and Lambert Streets. The lot size information and 25' minimum building setback line should be revised on the Final Plat, if approved.

The site has numerous existing curb-cuts for ingress/egress. As a means of access management, the site should be limited to the curb-cuts defined by Traffic Engineering, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.

It should be noted that the plat illustrates a portion of Lambert Street, Hill Street, Sadie Street, and several 12' alleys to be vacated. The Street Vacation process should be completed prior to the signing of the Final Plat, if approved.

GIS data depicts the western portion of the site within a Floodway as well as the AE and X-Shaded Flood Zones associated with a tributary of Three Mile Creek. The proximity of the site to water may mean that the site is environmentally sensitive, thus approvals from local, state and federal agencies for floodplain issues may be required prior to development. A note regarding these requirements should appear on the Final Plat if approved.

It should be pointed out that the preliminary plat depicts a 40' drainage easement along the eastern lot line of the proposed Lot 1. If approved, a note should be placed on the Final Plat stating that no permanent structures can be constructed in any easement.

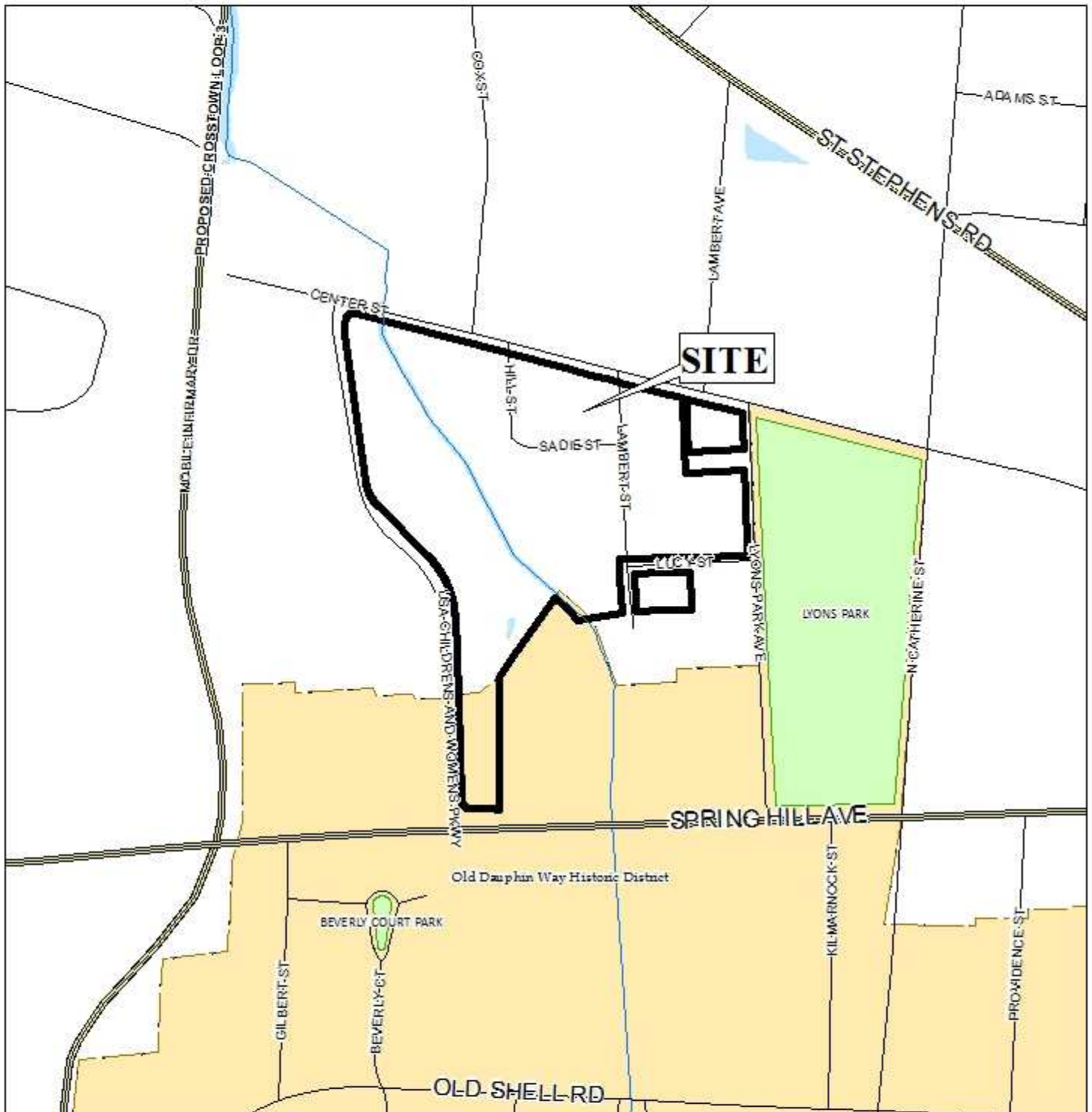
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

With a waiver of Section V.D.8. of the Subdivision Regulations, the application is recommended for tentative approval, subject to the following conditions:

- 1) Dedication of a corner radius at the intersection of Lyons Park Avenue and Center Street; Lyons Park Avenue and Lucy Street; and Lucy Street and Lambert Street on the Final Plat;
- 2) Revision of the lot size information and the minimum building setback line to reflect dedication, and be retained elsewhere on the Final Plat;
- 3) Placement of a note on the Final Plat stating that no permanent structures can be constructed in any easement;
- 4) Placement of a note on the Final Plat stating: *(Development of the site must comply with local, state and federal regulations regarding flood zones.);*
- 5) Placement of a note on the Final Plat stating: *(Development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.);*
- 6) Placement of a note on the Final Plat stating: *(Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 7) Compliance with Engineering Comments: *(The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any future addition(s) and/or land disturbing activity. B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 28 - #72) LOTS 2, 3, and 4 may receive historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. D. Provide dedication of the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northeast corner of LOT 4 (Center St. and Lyons Park Ave.), and the southeast corner of LOT 2 (Lyons Park Ave. and Lucy St.). E. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. F. Add a minimum 15 ft. wide access easement parallel to the existing drainage ditch and easement; and an access point off of the southern portion of Lambert St. G. Provide and label the monument set or found at each subdivision corner. H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. I.*

- Provide the Surveyor's Certificate. J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. K. Add a note that sidewalk is required to be constructed or repaired along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. L. Show the recording information for the vacated ROW and alleys. Clarify the labeling of "...to be vacated" shown on the plan and "...now vacated..." shown in part of the legal description. M. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);*
- 8) *Compliance with Traffic Engineering Comments: (Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
  - 9) *Compliance with Urban Forestry Comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
  - 10) *Compliance with Fire Department Comments: (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.); and*
  - 11) *Completion of the Street Vacation process prior to the signing of the Final Plat.*

# LOCATOR MAP



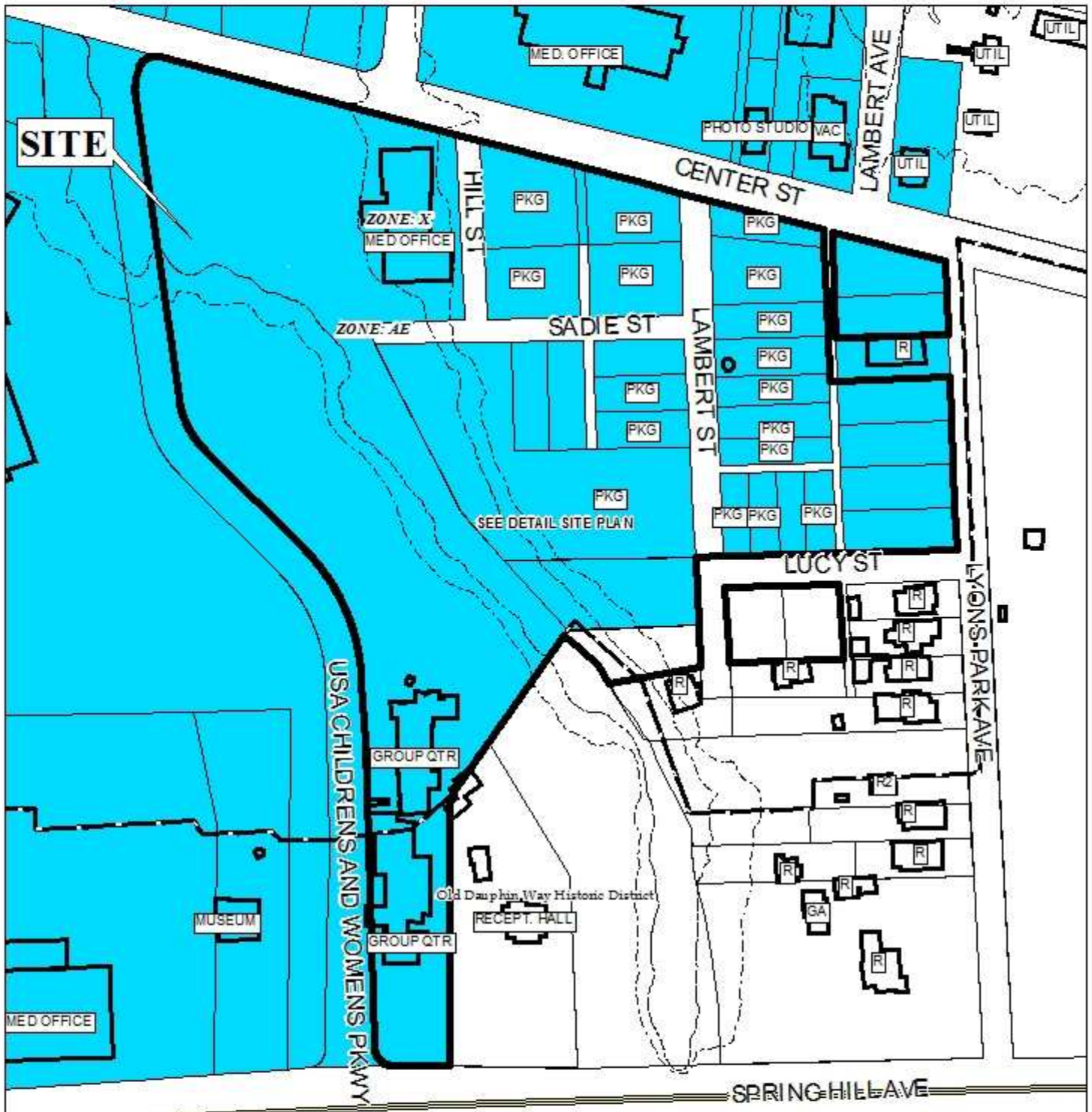
APPLICATION NUMBER 12 DATE July 17, 2014

APPLICANT USA POB Subdivision

REQUEST Subdivision



# USA POB SUBDIVISION



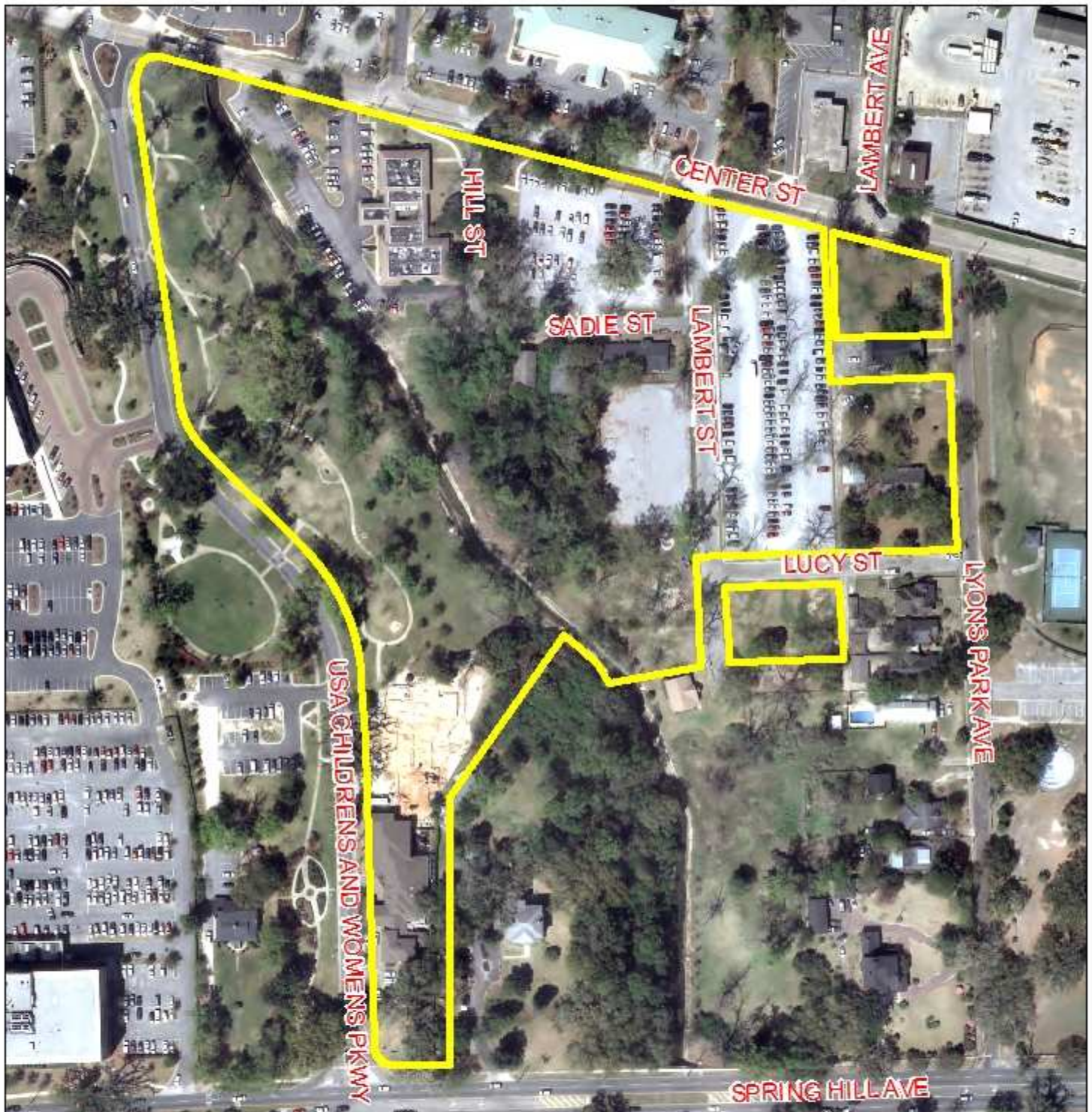
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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6

N  
NTS



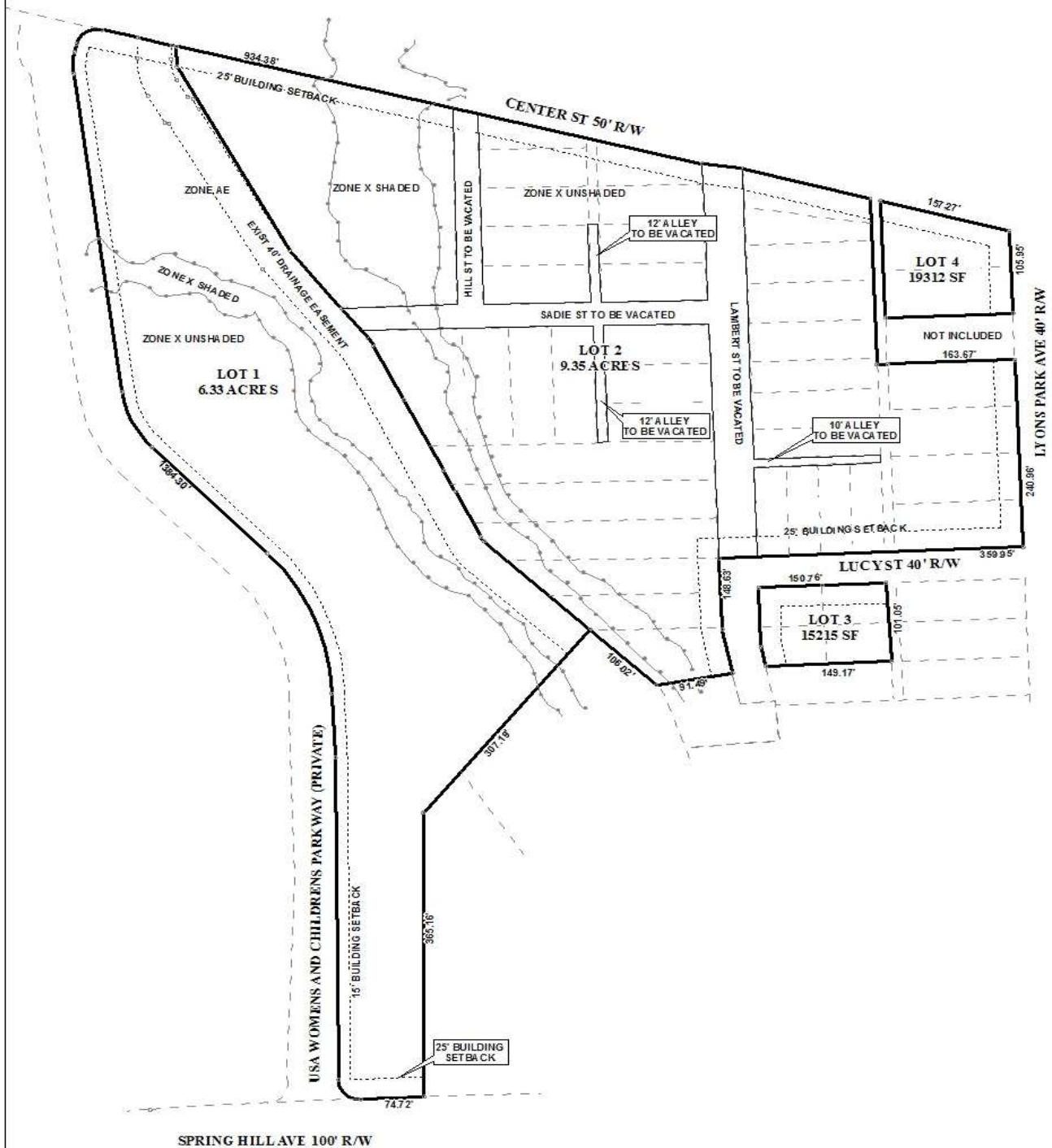
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APPLICATION NUMBER 12 DATE July 17, 2014



# DETAIL SITE PLAN



APPLICATION NUMBER 12 DATE July 17, 2014

APPLICANT USA POB Subdivision

REQUEST Subdivision



NTS