

**PLANNING APPROVAL STAFF REPORT****Date: January 7, 2016****NAME**

Union Missionary Baptist Church

**LOCATION**508 Bay Bridge Road  
North side of Bay Bridge Road at the North terminus of  
Bay Bridge Road Cut Off**CITY COUNCIL  
DISTRICT**

District 2

**PRESENT ZONING**

R-2, Two-Family Resident District

**AREA OF PROPERTY**

1 Lot / 2.5 ± Acres

**CONTEMPLATED USE**Planning Approval to allow the expansion of an existing  
church in an R-2, Two-Family Residence District.**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediately.

**ENGINEERING  
COMMENTS**

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. The application and proposed work shall be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
3. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
4. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

**TRAFFIC ENGINEERING****COMMENTS**

Bay Bridge Road is an ALDOT maintained roadway. Site is limited to its existing curb cut, with size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

**REMARKS**

The applicant is requesting Planning Approval to allow the expansion of an existing church in an R-2, Two-Family Residence District. Planning Approval is required for churches and religious facilities in R-2 zoning districts.

Union Missionary Baptist Church intends to expand the parking area of an existing church. The site was the subject of Planning Approval at the February 15, 2001 meeting of the Planning Commission to allow expansion of the church to accommodate construction of a Sunday school and kitchen. The site was also the subject of Access, Maneuvering and Parking Surface Variances at the March 05, 2001 meeting of the Board of Zoning Adjustment to allow an aggregate parking surface and to allow substandard access and maneuvering areas for two-way traffic. Both the Planning Approval and the Variance requests were approved; however, it should be noted that the proposed site improvements would bring the parking lot into compliance with the Zoning Ordinance, therefore no new Variance requests are required.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

It is very important to note that the Planning Approval review is site plan specific; therefore *any* future changes to the site plan, as approved, by current or future applicants must be submitted for Planning Approval.

The site is surrounded by properties also zoned R-2, Two-Family Residence District. Most of the developed properties in the vicinity contain single-family residences. Staff confirms that the site has been developed for use as a church since at least 1975 and may, therefore, be considered non-conforming.

The site plan illustrates an existing building and 120 proposed parking spaces with asphalt surfacing. The proposed parking lot exceeds the minimum off-street parking requirements regarding number of parking spaces, which are based upon the amount of seats within a church sanctuary.

Six required parking spaces are designated as handicap accessible, and a van accessible space is provided, each of which meet the minimum Zoning Ordinance requirements for stall and access aisle length and width, and satisfy the minimum requirements for handicap parking.

It should be noted that curbing or wheel stops for proposed parking spaces where vehicles could potentially extend beyond the parking facility are provided.

It should also be noted that 16 of the proposed parking spaces, each of which abut proposed curbing within corner sections of the lot and at the ends of central parking sections, do not meet stall width requirements. If approved, revisions to the site plan will be required to illustrate compliance with Section 64-6.A.2. of the Zoning Ordinance regarding minimum parking stall dimensions.

Regarding minimum parking aisle dimensions, the site plan illustrates that a majority of aisle widths are 24', thus indicating a two-aisle configuration to accommodate two-way traffic; however, those aisles proximal to tapered curbs that delineate parking lot sections do not meet the minimum 24' width requirements for two-way traffic. Additionally, parking stalls illustrated with a 20' stall length and 10.5' stall width are configured in such a way that limit aisle width to 21', thus suggesting a one-way aisle configuration for one-way traffic; however, the site plan does not illustrate how one-way traffic circulation will be implemented. If approved, revisions to the site plan will be required to illustrate two-way aisle configurations 24' wide, exclusive of curb tapers, and to illustrate one-way traffic circulation either in the form of signage, painted arrows, or another approved method.

Due to the amount of site improvements, if approved, a photometric plan for the entire lot is required and should illustrate compliance with Section 64-6.A.8. of the Zoning Ordinance regarding new parking lot lighting.

The site plan does not meet minimum landscaping and tree requirements regarding the amount of required frontage, perimeter, and parking lot trees. If the current application is approved, per previous Planning Approval, revisions to the site plan illustrating full compliance with section 64-4.E. of the Zoning Ordinance will be required.

An existing dumpster is illustrated on the site plan but it is unclear whether or not it meets the current enclosure and sanitary sewer connection requirements of Section 64-4.D.9. of the Zoning Ordinance. If approved, revisions to the site plan illustrating compliance with dumpster regulations will be required as 2014 aerial photos imply that the existing dumpster will be relocated, per the submitted site plan.

Because the site is commercially utilized and abuts R-2, Two-Family Residence Districts to the North, East and West, a protection buffer is required per Chapter 64-4. D.1. of the Zoning

Ordinance; the site plan does not illustrate such a buffer. Therefore, if approved, an appropriate protection buffer in the form of a wall, wooden privacy fence, or the inclusion of a screen planting strip is recommended to ensure compliance with the aforementioned protection buffer requirements of the Zoning Ordinance, and should be illustrated on a revised site plan.

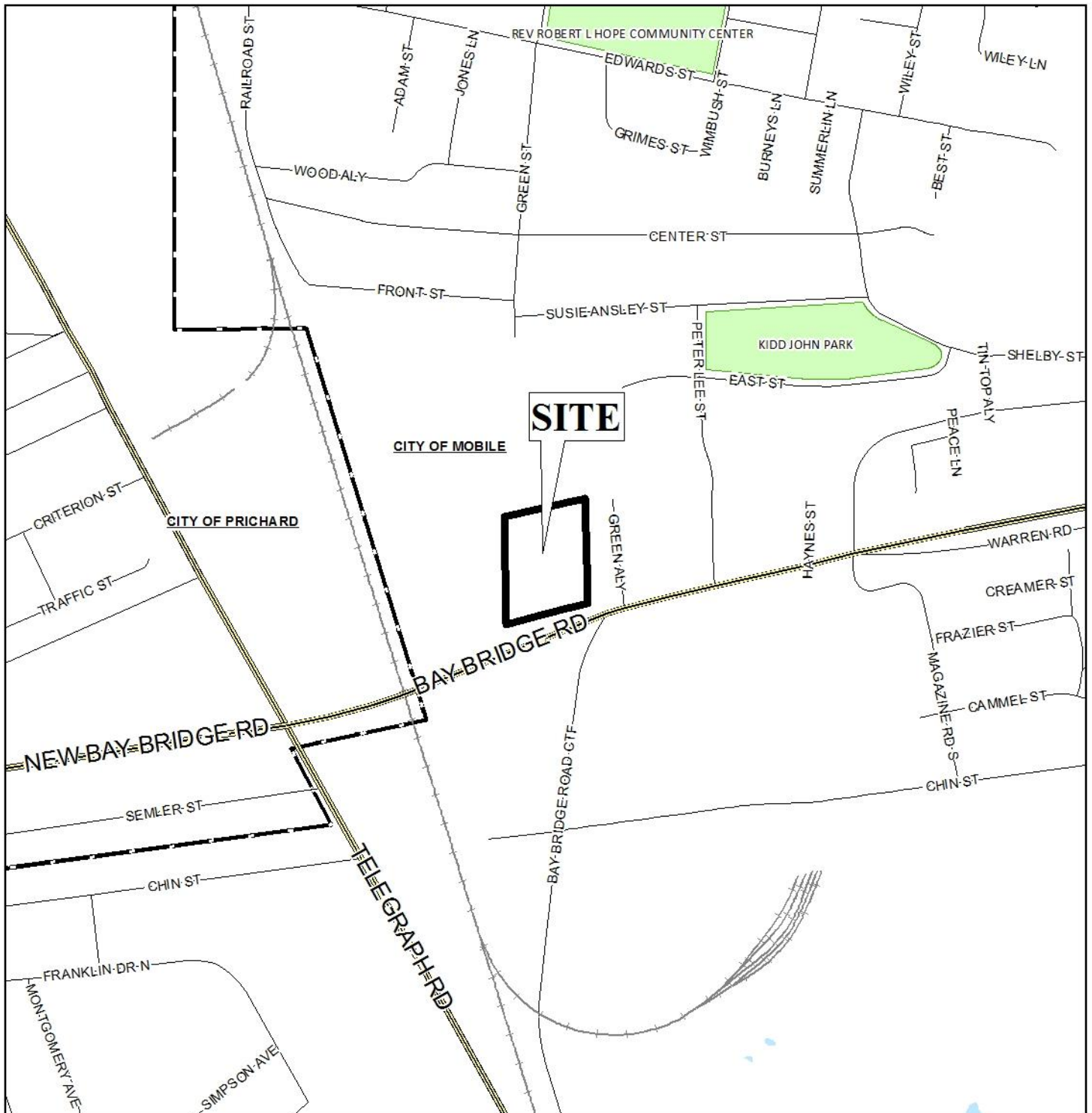
Given the site's previous Planning Approval to allow expansion of an existing church in an R-2, Two-Family Residence District, the fact that the site has been developed for use as a church since at least 1975, and the fact that the proposed site improvements will bring the site into compliance with current parking lot regulations, approving this request may be appropriate.

## **RECOMMENDATION**

**Planning Approval:** Based upon the preceding, this request is recommended for Holdover until the February 18th meeting, with revisions due by January 19th, so that the following items can be addressed:

- 1) revision of the site plan to illustrate compliance with Section 64-6.A.2. regarding minimum parking stall dimensions;
- 2) revision of the site plan to illustrate compliance with Section 64-6.A.2. regarding minimum two-way aisle dimensions, exclusive of any curb tapers;
- 3) provision of a photometric plan illustrating full compliance with Section 64-6.A.8. of the Zoning Ordinance at time of permitting;
- 4) revision of the site plan to illustrate full compliance with Section 64-4.E. regarding minimum tree and landscaping requirements;
- 5) revision of the site plan to illustrate compliance with Section 64-4.D.9. regarding current dumpster requirements; and
- 6) revision of the site plan to illustrate compliance with Section 64-6.D.1. regarding protection buffer requirements.

# LOCATOR MAP



APPLICATION NUMBER 12 DATE January 7, 2016

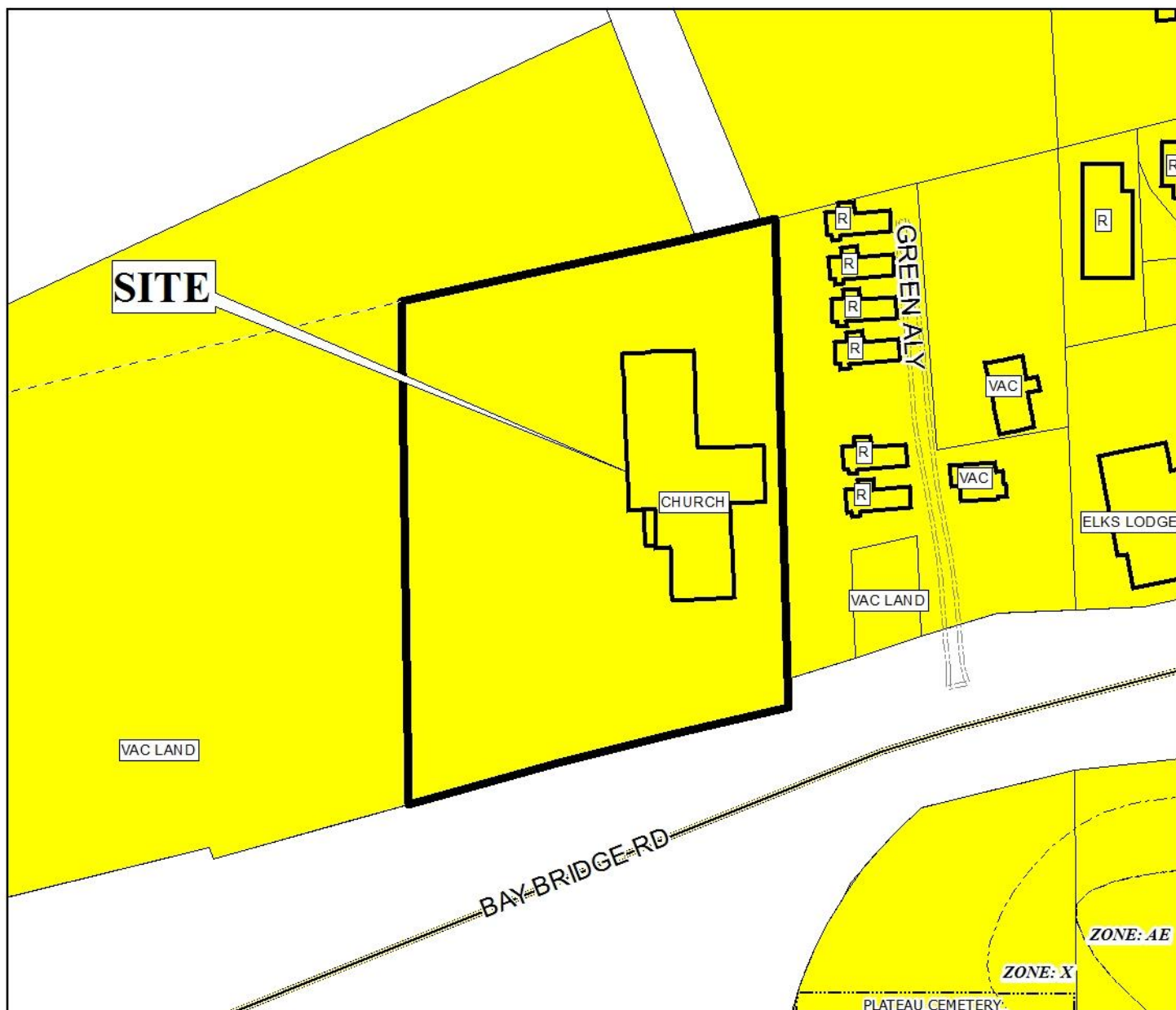
APPLICANT Union Missionary Baptist Church

REQUEST Planning Approval



NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential units to the east.

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REQUEST Planning Approval

|     |     |      |     |     |      |       |      |
|-----|-----|------|-----|-----|------|-------|------|
| R-A | R-3 | T-B  | B-2 | B-5 | MUN  | SD-WH | T5.1 |
| R-1 | R-B | B-1  | B-3 | I-1 | OPEN | T3    | T5.2 |
| R-2 | H-B | LB-2 | B-4 | I-2 | SD   | T4    | T6   |





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



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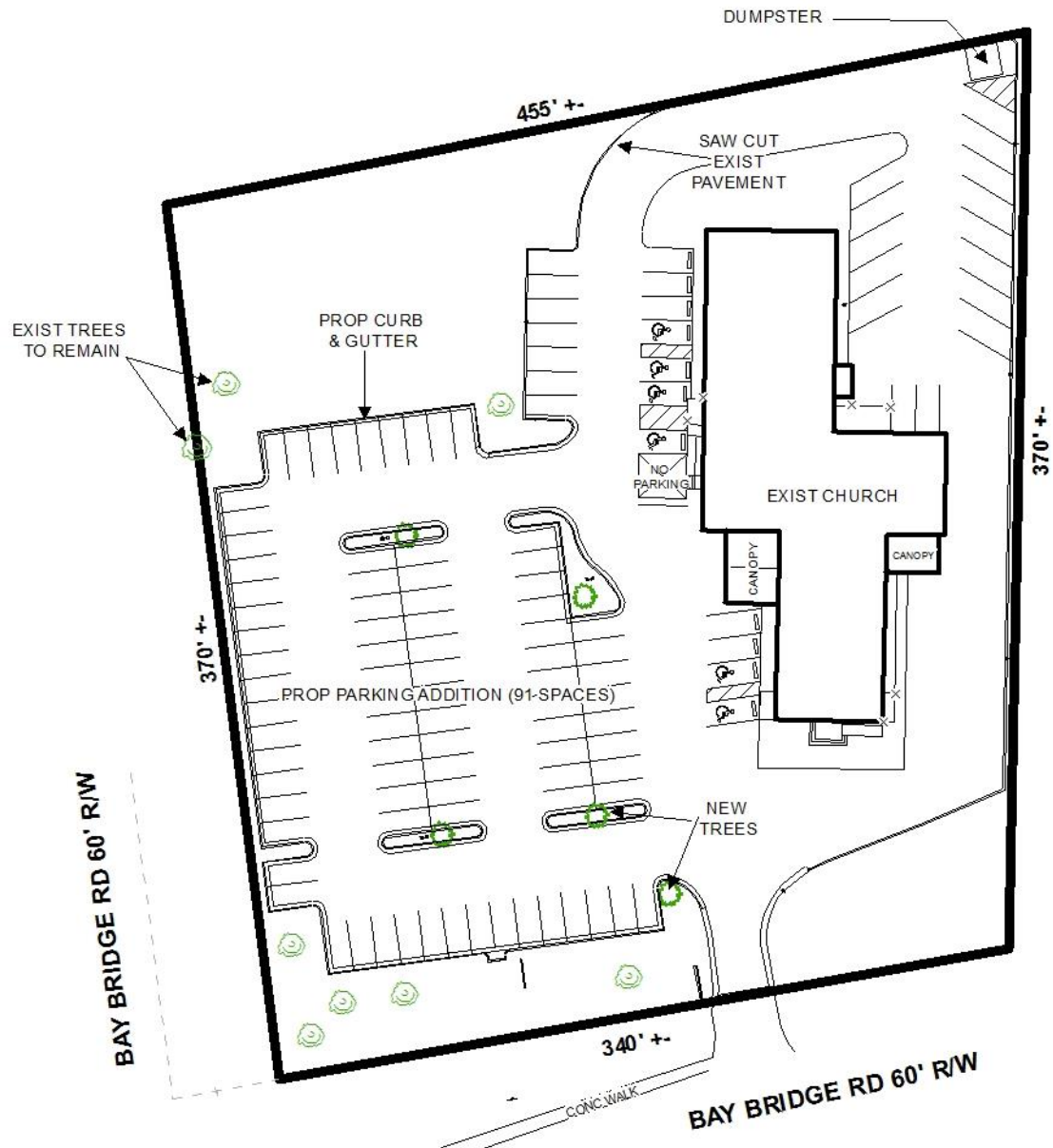
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# SITE PLAN



The site plan illustrates the existing church, proposed parking lot, existing trees, and proposed trees.

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